

RODGERS CREEK

AREA 6 LOT 2, Units 1-16



DESIGN PANEL REVISIONS
July 6, 2018



BRITISH PACIFIC PROPERTIES

CREEKSIDE ARCHITECTS



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ARCHITECTURAL

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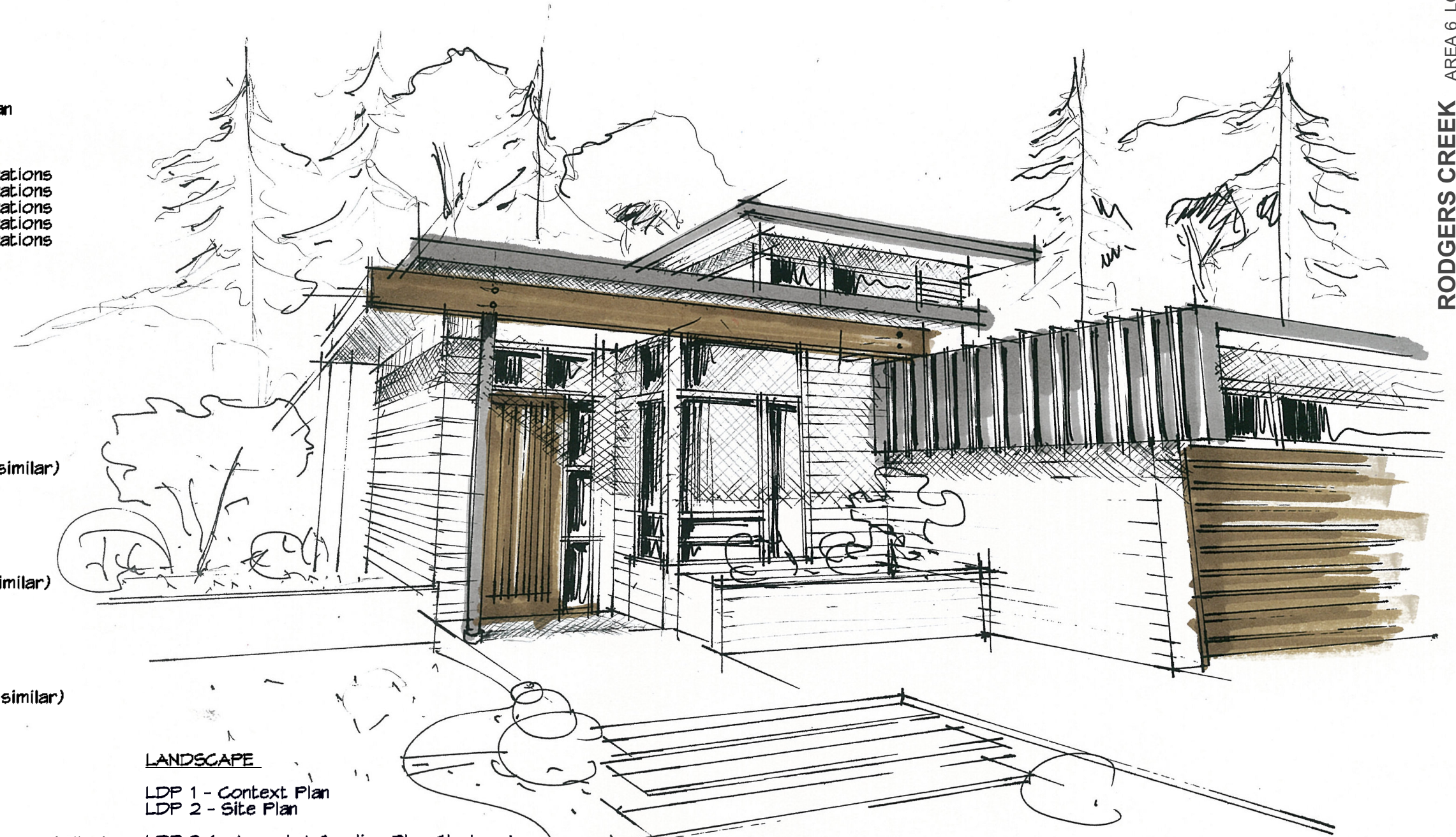
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PROJECT SUMMARY AND OVERVIEW



CIVIC ADDRESS: N/A

LOCATION: Lot Area of Rodgers Creek, West Vancouver

ZONING: CD-3

SITE COVERAGE (PROPOSED): 27,716 SF (2,575 SM)

FAR (PROPOSED): 0.29

SITE AREA: 95,304 SF (2.2 ACRES)
8,854 SM (0.9 HA)

BUILDING HEIGHT: 2. storeys
2 Storeys + Loft
3 Storeys

CONSTRUCTION: Concrete & Wood

TOTAL BUILDING AREAS (FAR): 36,086 SF (3,352.5 SM)

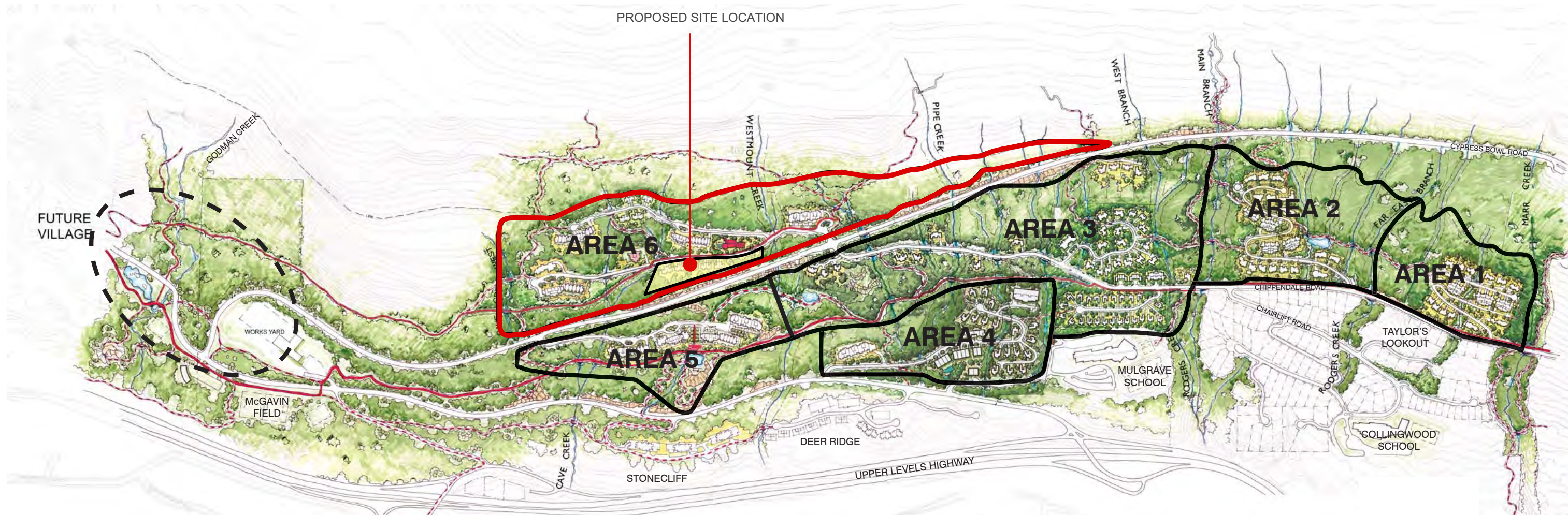
UNIT COUNT: 16 Residential Units

CAR PARKING: Indoor 20
Outdoor 20

BICYCLE PARKING: 2 / Unit in garage

Unit #	Unit width/type	# of floors	Unit Count	FAR Area/Unit
1 to 5	30ft detached	3	5	2,635
6 to 9	30ft detached	2	4	1,819
10 to 12	30ft detached	2 + loft	3	2,133
13 & 15	35ft duplex	2 + loft	2	2,366
14 & 16	35ft duplex	2	2	2,278
TOTAL UNITS			16	36,138





Design Rationale

Rodgers Creek - Area 6 - Lot 2

The area Development Plan for Area 6 created building sites for clusters of homes all separated by dedicated riparian areas and parkland.

Lot 2 is located at the south of Area 6 and adjacent to Cypress Bowl Road. Between the Lot and Cypress Bowl Road is an area dedicated to tree preservation and the creation of the Mountain Trail. The trail will ultimately connect with the future Cypress Village. Land on the south of Lot 2 has been placed under covenant as a Forest Management Area and cannot be built on.

Lot 2 is downhill from the road and very steep. The Area Development Permit allows for a 6m retaining wall to create the building lots.

There will be 16 homes divided into 3 clusters. The clusters will be separated by 6m gaps into which the forest will be reintroduced and potentially flow across the road into Lot 3.

The homes are intended to be small and modest in nature to add diversity to the Area. Sizes will range from 1,808 sf to 2,655sf.

12 of the homes will have single car garages to minimize the street presence of the garage, and narrow driveways to match. The project asks for a front yard setback reduced to 5m - still enough to contain a good sized SUV- .

Homes at the eastern end of the Lot; Cluster A, are 3 stories - 1 storey at the road and 2 below due to the steepness of the site. Homes in Cluster B are 2 storey - 1 at the road and 1 below. Homes in Cluster C acquire a loft room to add street presence.

The homes are all flat roofed and will be surfaced green roof or coloured ballast material that physically follows the original contourlines of the natural topography. Primary outdoor living space will be on the south side by way of large decks and patios. Decks will be screened on one side to maintain visual and acoustic privacy from the neighbour to the west, with the views to the south-east being preserved. The living floor decks will be covered to give year round living and shelter from the southern sun.

The overall design intention is to hint at the West Vancouver history of modernism - flat roofs, large areas of glass, rectangular shapes and natural materials and colours.



Sustainability Statement

The Rodgers Creek Area Development Plan Overview Report (March 7, 2008) notes that

...the Rodgers Creek Area Development Plan is founded on a vision of environmental, social and economic sustainability...The vision of sustainability contained within the Rodgers Creek Area Development Plan complements and supports the District of West Vancouver's OCP, the Working Group's Key Organizing Principles and British Pacific Properties' "8 Pillars" approach. Sustainability is a common thread that runs throughout the fabric off the Rodgers Creek ADP as well as the future planning of the Cypress Village area.

The Overview Report also details a Green Building Strategy for the Rodgers Creek Development Area that reduces energy and water consumption, reduces greenhouse gas emissions, enhances sustainability and creates a healthy living environment. The Phased Development Agreement between the District of West Vancouver and the Rodgers Creek land owners requires buildings in the Rodgers Creek development area to comply with these green building standards.

The Area 6 single family and two family homes will incorporate many of the sustainable development features detailed in the Green Building Strategy including:

Green Building Standards

All units will be certified Built Green® Silver with a minimum EnerGuide Rating of 80.

Energy Conservation

- ◇ Energy efficient heating and cooling system using an Air Source Heat Pump (ASHP)
- ◇ Energy efficient, tankless "hot water on demand" domestic water heaters
- ◇ Passive solar design, including sun shading to minimize summer heat gain
- ◇ Natural cross ventilation
- ◇ Maximize daylighting opportunities through extensive glazing and siting of buildings as close to east/west orientation as possible
- ◇ High performance, energy efficient, Energy Star-rated windows
- ◇ Energy efficient light fixtures
- ◇ Energy efficient, Energy Star-labeled appliances
- ◇ Real-time energy meters ("Smart Meters") to monitor energy consumption (if acceptable technology is available at time of construction)
- ◇ Individual metering for energy use for each unit to encourage conservation
- ◇ Provide Energy Star-labeled programmable thermostats or programmable thermostat with dual set back & continuous fan setting
- ◇ Insulation levels to meet or exceed the Model National Energy Code for Buildings including a minimum of R-28 for roof insulation, R-20 for exterior wall insulation for non-glazed areas and R-20 for floors above non-heated parkade areas

Water Conservation

- ◇ Water-efficient fixtures including dual-flush toilets, low flow faucets with aerators and low flow showerheads
- ◇ Water-efficient dishwashers and front-loading clothes washers
- ◇ Water-efficient landscaping materials featuring drought-tolerant and native plants
- ◇ Water-efficient irrigation systems only where required

Green Roof & Terraces

- ◇ Extensive Green terraces

Indoor Environmental Quality

- ◇ Only low-emitting adhesives, sealants, sealant primers, paints and coatings and floor covering systems will be used
- ◇ Permanent carbon dioxide monitoring systems in all units

Efficient Use of Materials & Resources

- ◇ Use of locally and regionally supplied building materials
- ◇ Use of high performance, durable materials
- ◇ Recycling facilities for simplified separation and collection of recyclable materials within units
- ◇ Comprehensive recycling program for building site including education, site signage and bins
- ◇ Recycling of site-generated organics from construction activities to produce topsoil to be re-used on site or on nearby sites
- ◇ Re-use of site-harvested trees for construction of homes, landscaping, trails and other amenities
- ◇ Re-use of site-generated rock for retaining walls, house detailing and trim, road and trail gravels, landscaping, creek restoration (e.g., ponds, weirs, cascades) and foreshore enhancement
- ◇ Re-use of excess structural fill from construction activities in close proximity to the development site. For example, excess structural fill from Area 4 building excavations will be used for road fill embankments and lot grading.

- ◇ Use of recycled materials in new home construction where practical, e.g., siding

Sustainable Design

- ◇ Bicycle storage to be provided in each garage
- ◇ A dedicated conduit or cable raceway from the electrical panel to an enclosed outlet box in the garage that will allow the future installation of an electrical circuit suitable for recharging electric vehicles or hybrid vehicle battery support to be provided in each garage
- ◇ LEED Accredited Professionals and Built Green Certified builder part of the design team
- ◇ An Integrated Design Process (IDP) that brings all project team members together early in the design process is being utilized for this project
- ◇ A home owner's manual outlining sustainability measures will be provided to all new home owners

Integrated Stormwater Management

- ◇ Protection, and where possible, enhancement of watercourses
- ◇ A suite of Low Impact Development strategies (LID's) have been developed and will be implemented as part of an Integrated Stormwater Management plan for both on and off-site stormwater.
- ◇ Techniques and strategies for managing stormwater include bioswales, rock exfiltration pits, rain gardens, constructed wetlands, absorbent landscaping, other percolation areas and permeable paving and permeable asphalt to give stormwater runoff multiple opportunities to infiltrate back into the ground before reaching a watercourse or piped system.

BUILT GREEN PROGRAM

Built Green® is a "green" new home building standard and third party certification program administered by Built Green Canada. British Pacific Properties Limited (BPP) and British Pacific Enterprises (BPE) are Certified Built Green® builders. The program concentrates on several different target areas including:

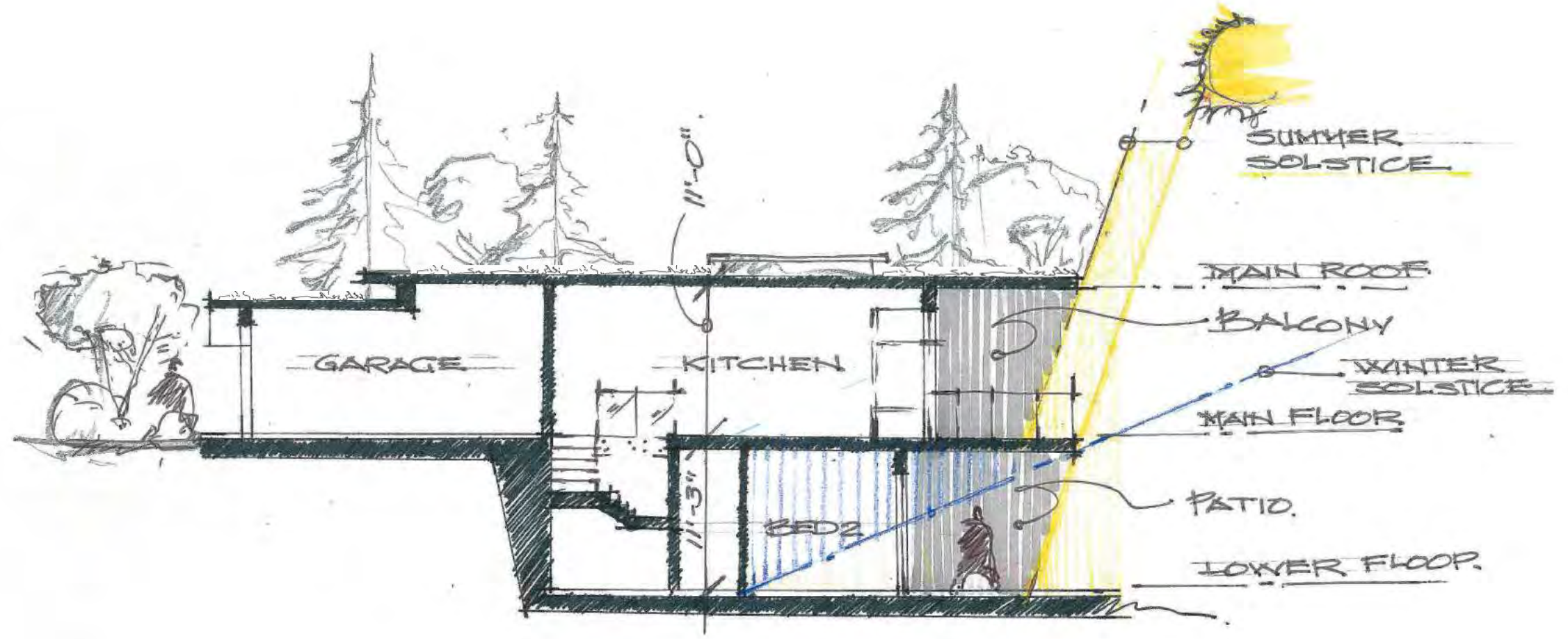
- ◇ Energy efficiency;
- ◇ Indoor air quality;
- ◇ Waste Management;
- ◇ Water Conservation;
- ◇ Resource Use; and
- ◇ Overall environmental impact.

The Built Green® Checklist provides the foundation of the program's criteria which includes energy efficiency requirements. To achieve a Built Green Silver level, a new home must achieve a minimum of 100 points from the Built Green® Checklist with a minimum of 30 points in the Envelope & Energy Section of the Checklist and be modeled, tested and rated in the EnerGuide Rating System (ERS) administered by Natural Resources Canada (NRCan).

All single family and two family homes in Area 6 will be built to a minimum level of Built Green Silver and a minimum EnerGuide Rating of 80 as certified by a Certified Energy Advisor. Upon completion, each new single family and two family home in Area 6 will receive an EnerGuide for New Houses rating label and the official Built Green® seal for the Built Green® home.

For more information about the Built Green® program, please visit www.builtgreencanada.ca.





UNIT 6-9
SECTION





**Design Feature
Sketch Elevations**

July 6, 2018 Scale NTS.

A-0.6





**Design Feature
Sketch Elevations**

July 6, 2018 Scale NTS.

A-0.8



BRITISH PACIFIC PROPERTIES

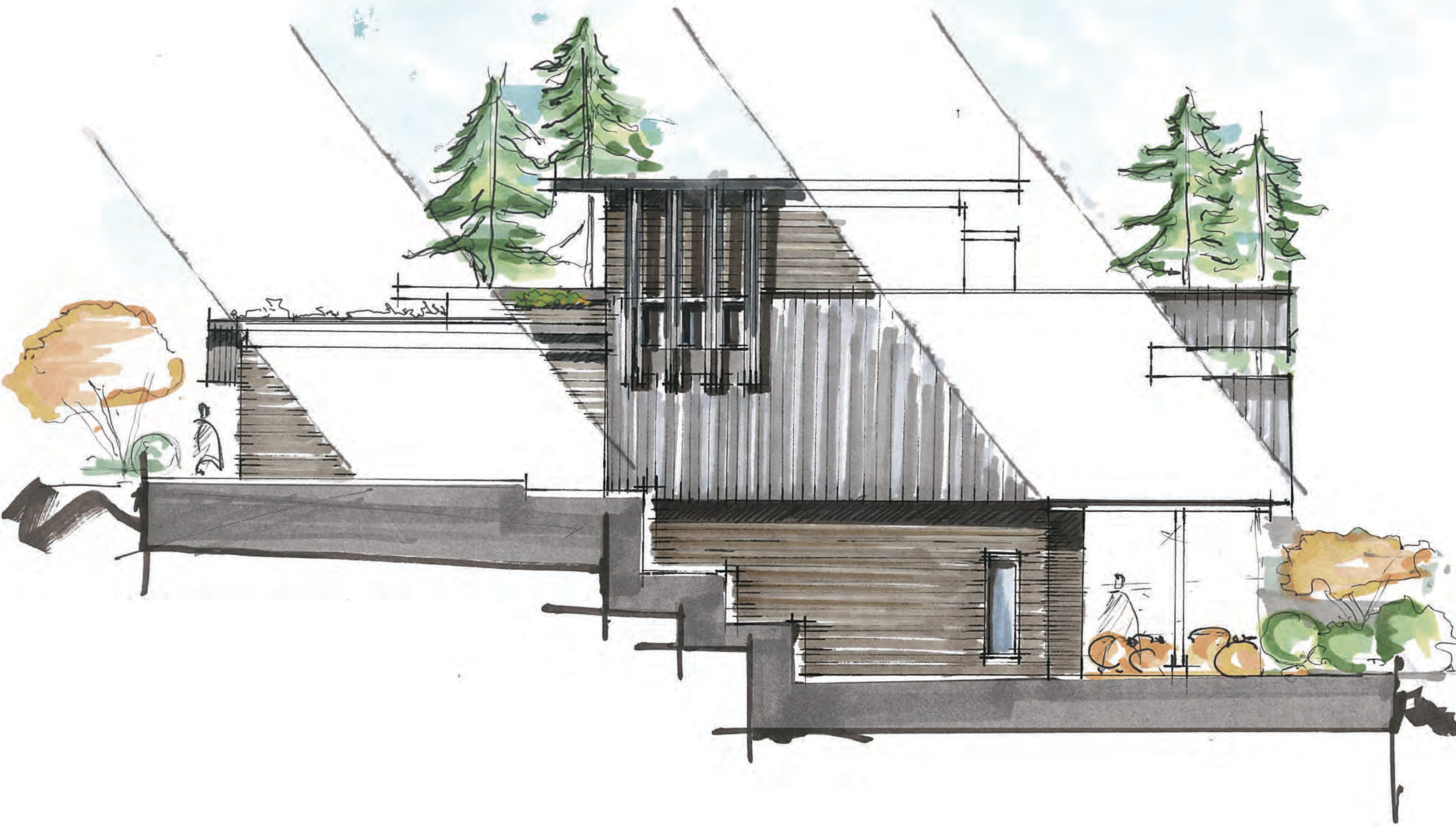


CREEKSIDE ARCHITECTS

**Design Feature
Sketch Elevations**

July 6, 2018 Scale NTS.

A-0.9



Design Feature
Sketch Side Elevations

A-0.10

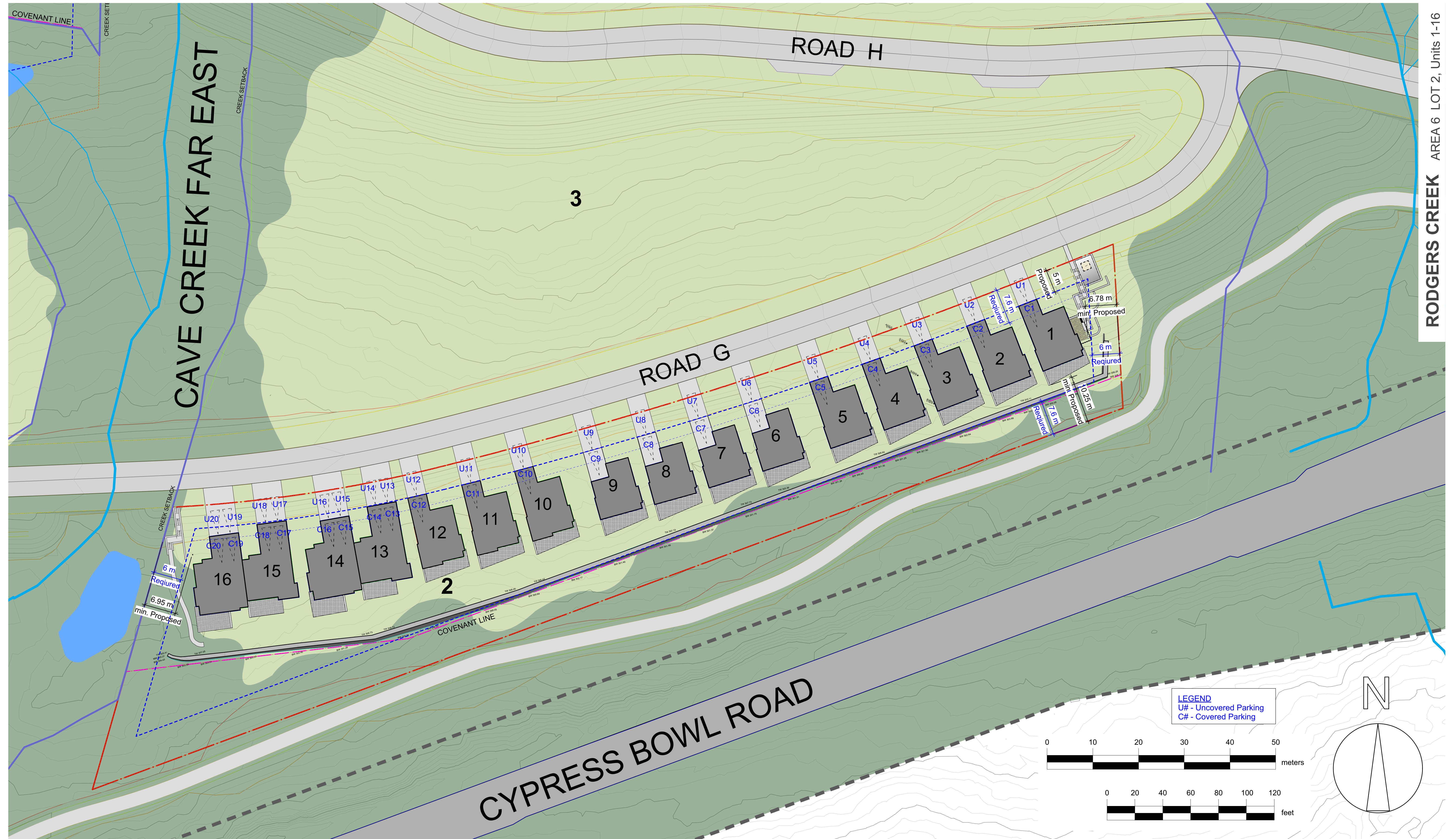
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CAVE CREEK FAR EAST

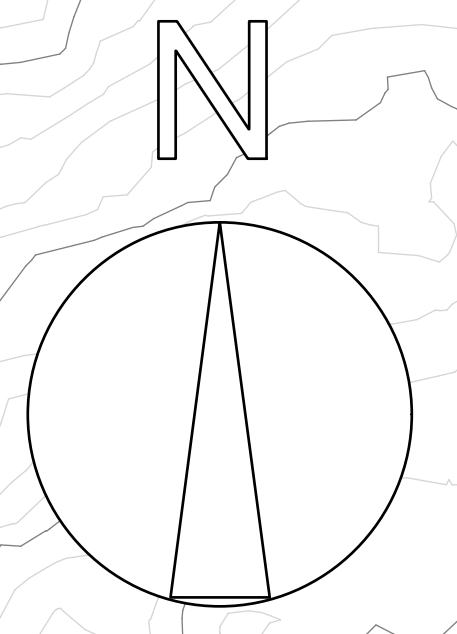
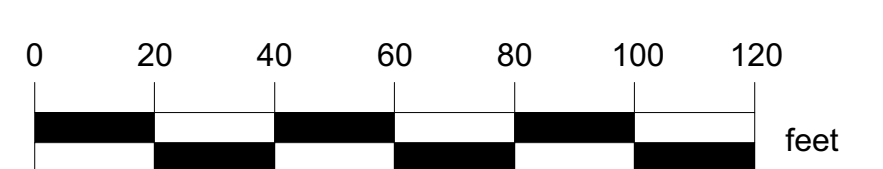
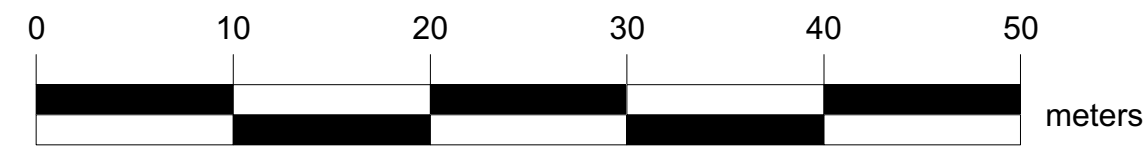
ROAD H

ROAD G

CYPRESS BOWL ROAD



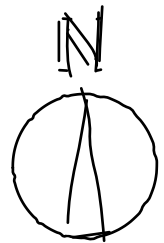
LEGEND
 U# - Uncovered Parking
 C# - Covered Parking

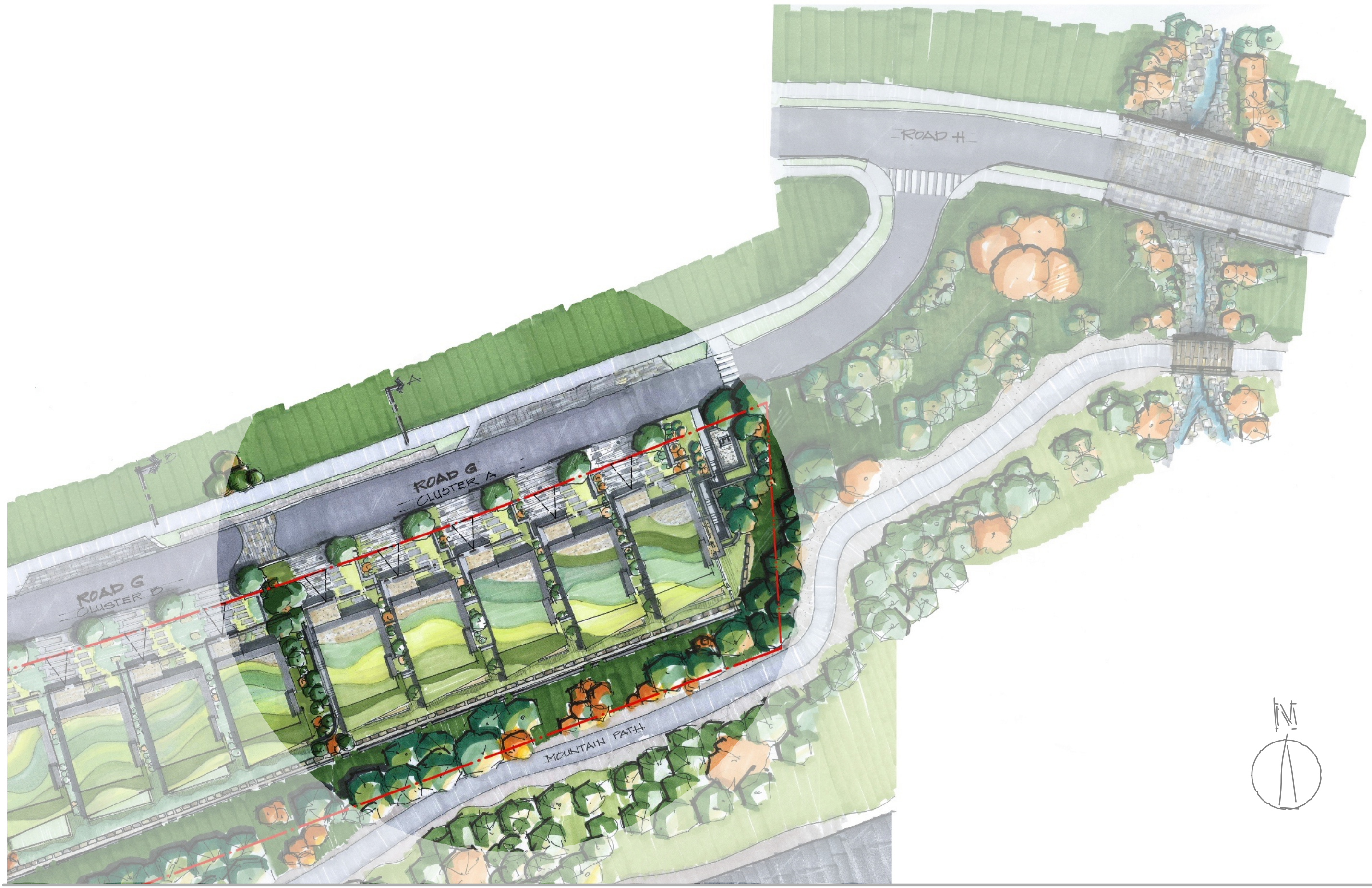


LOT 2 - UNIT 1 to 16
Site Plan

July 6, 2018 Scale 1/64"=1'-0" @ 11"x17

A-1.1





BRITISH PACIFIC PROPERTIES



CREEKSIDE ARCHITECTS

Site Plan Cluster A Sketch

July 6, 2018 Scale NTS.

A-1.2



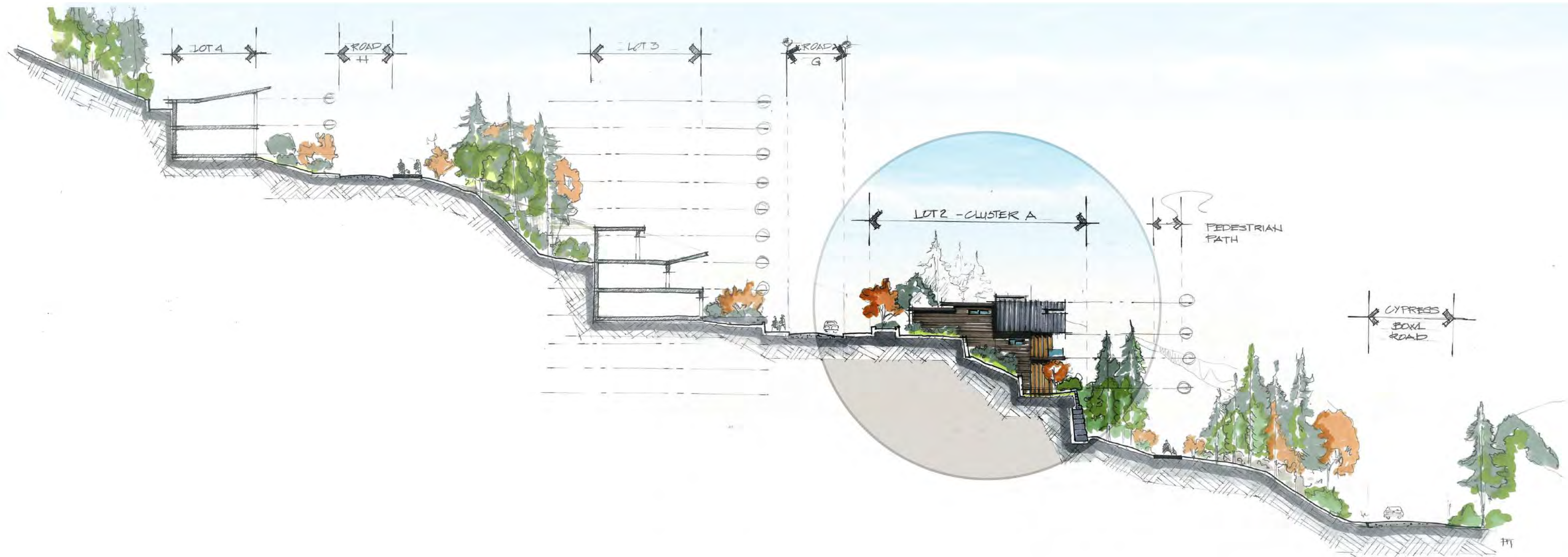
Site Plan Cluster B Sketch

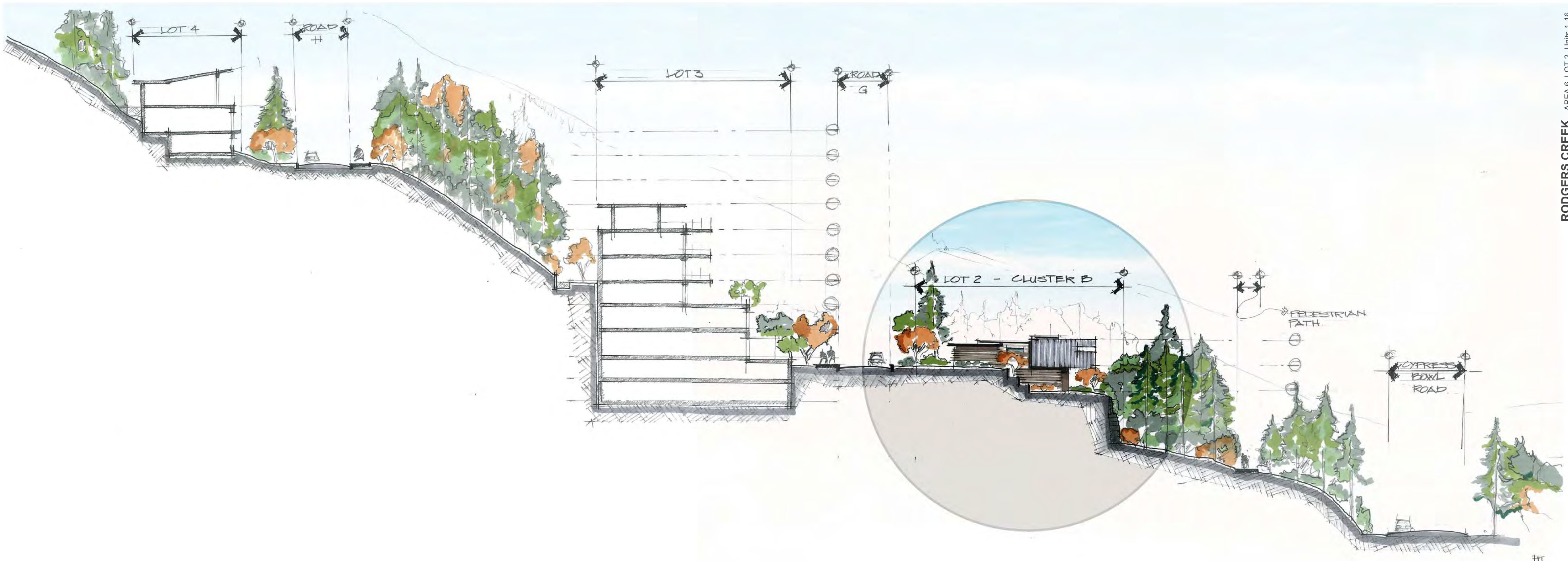
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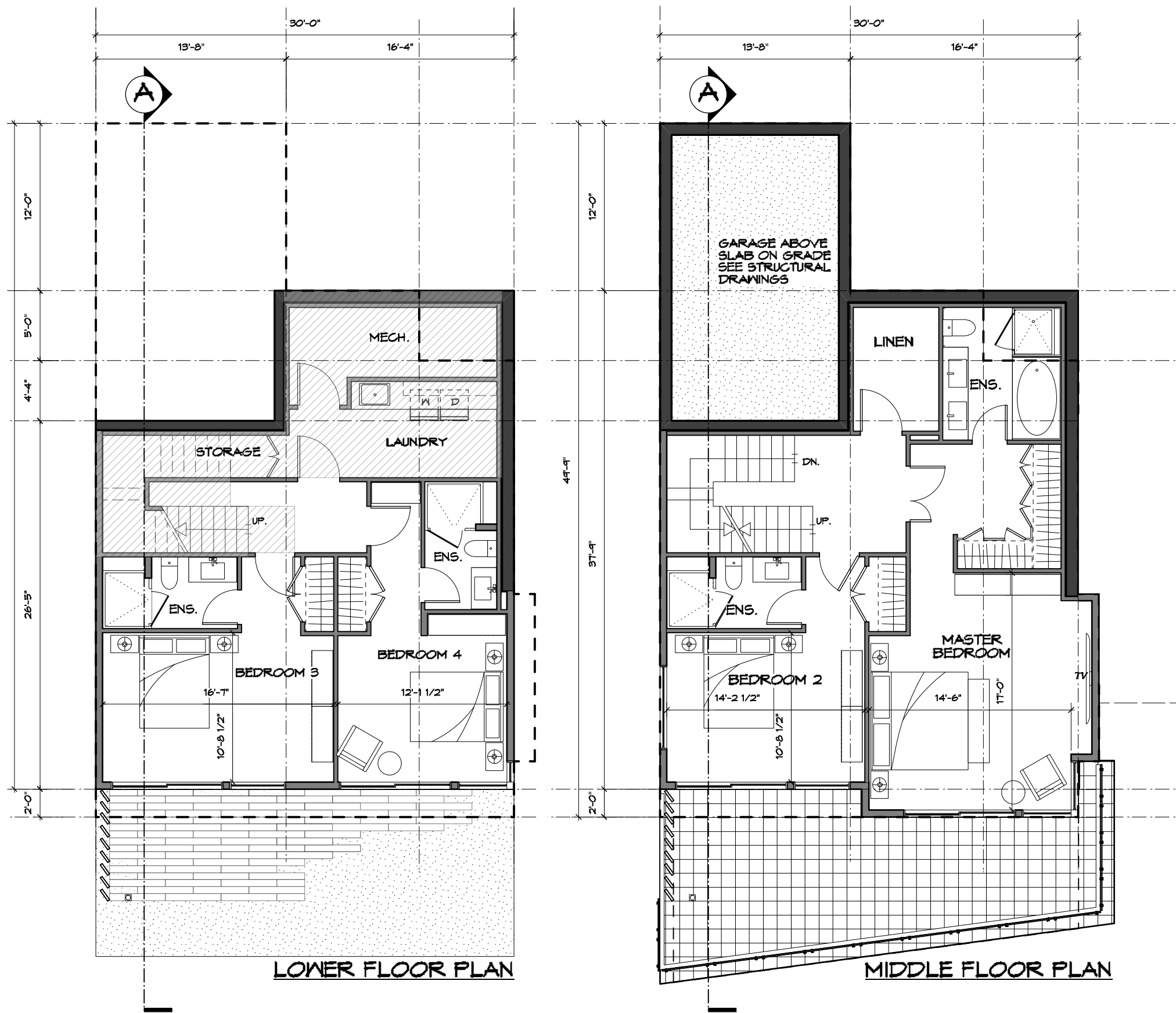
Site Plan Cluster C Sketch

July 6, 2018 Scale NTS.





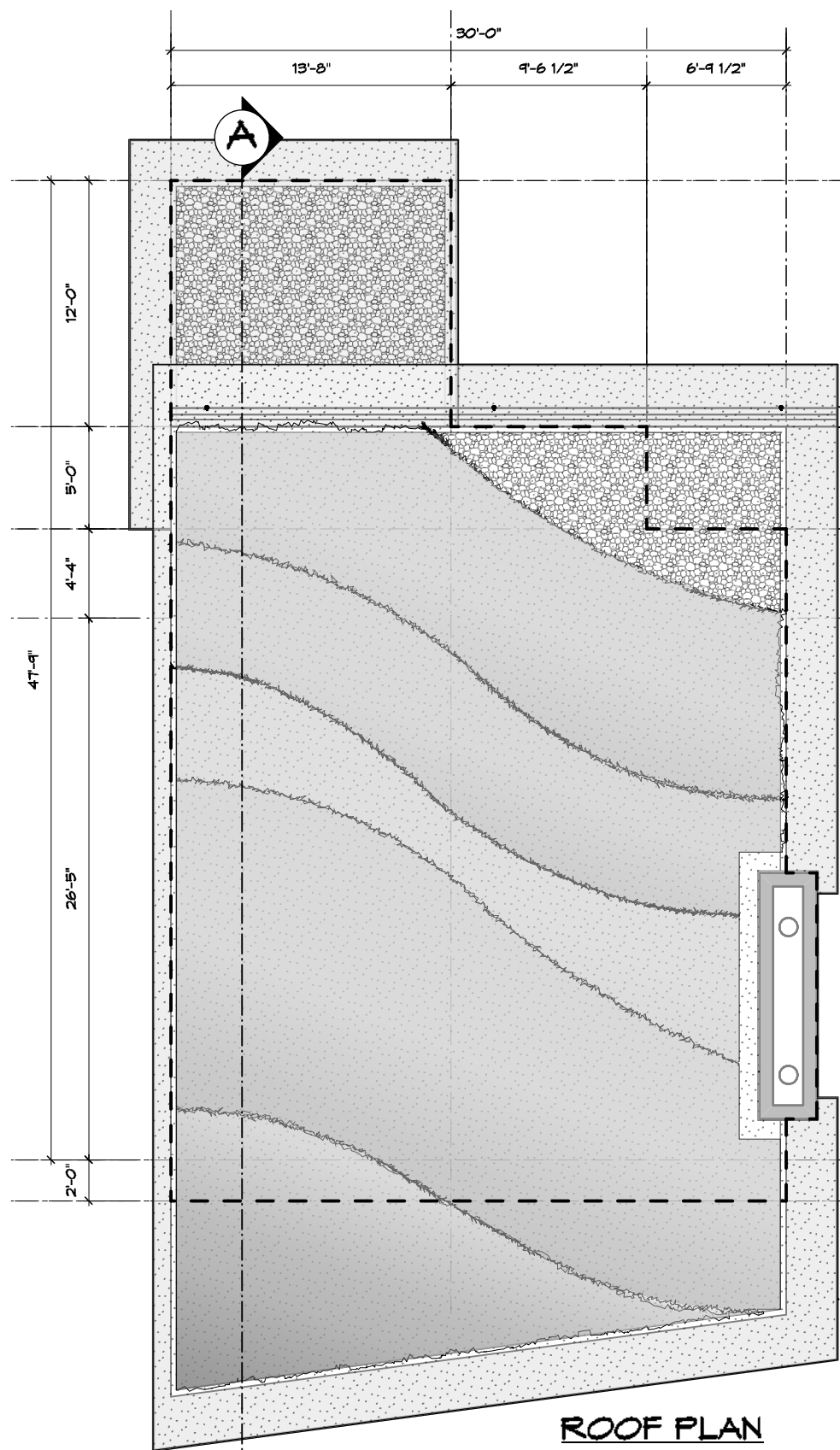




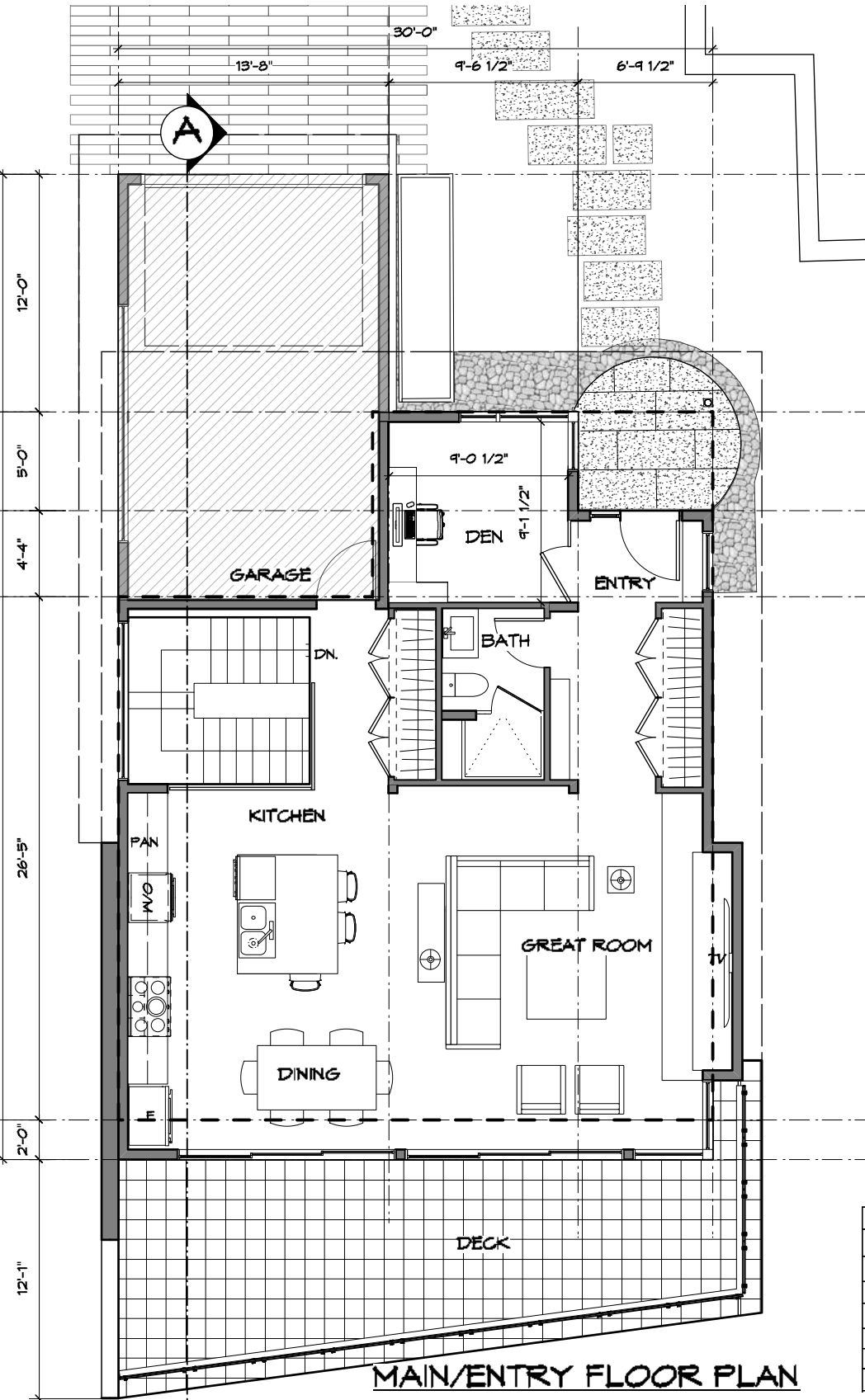
 FAR AREA EXEMPTION

AREA CALCULATION (Ft)				
	Lower	Middle	Main	TOTAL
Gross Floor Area - each level	953	1,002	1,295	3,250
TOTAL GROSS AREA				= 3,250
Exemptions				
stair/laundry/hallway/mech	326	0	0	- 326
garage	0	0	289	- 289
TOTAL F.A.R. PROPOSED	0	0	0	= 2,635





ROOF PLAN

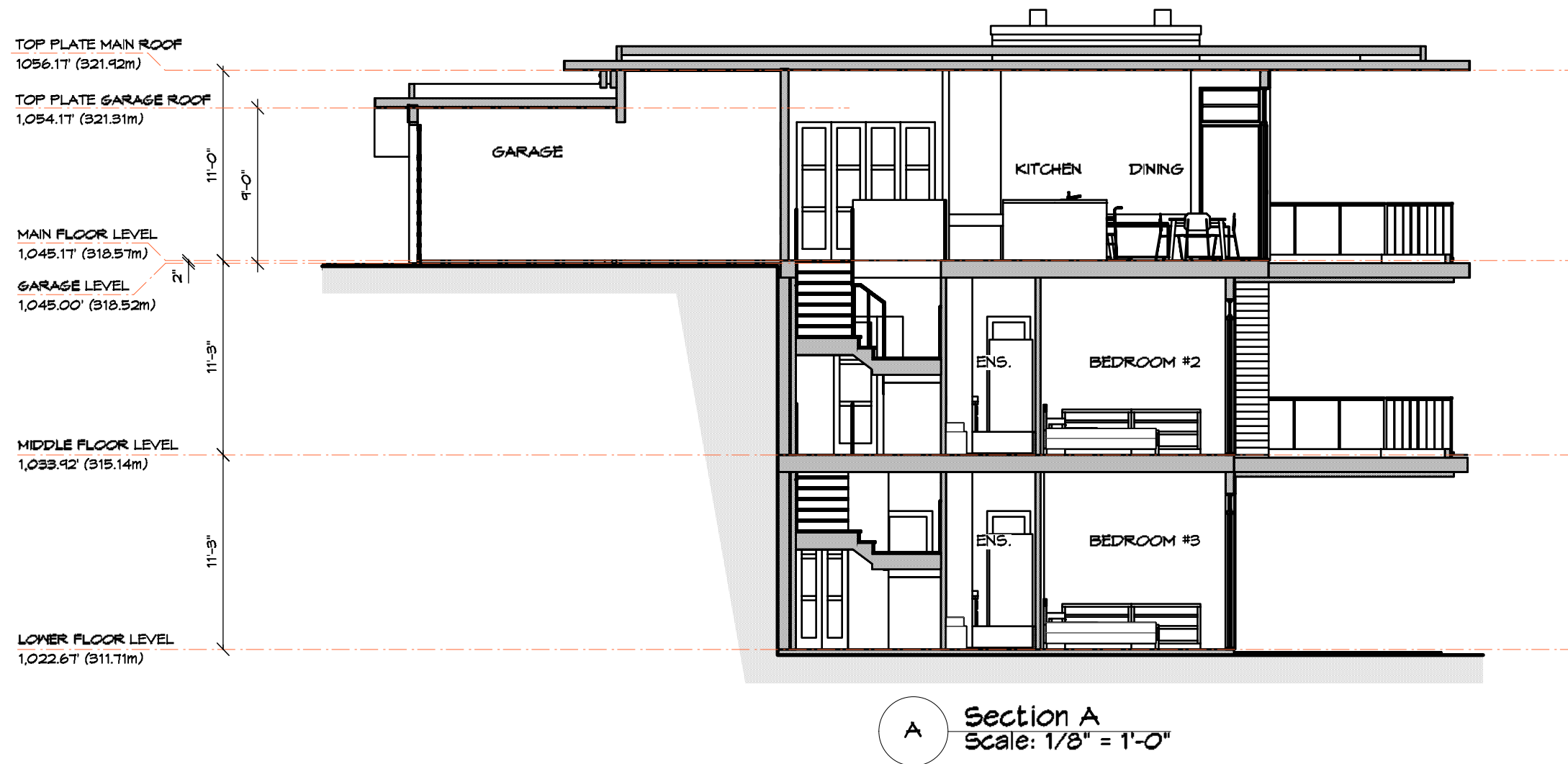


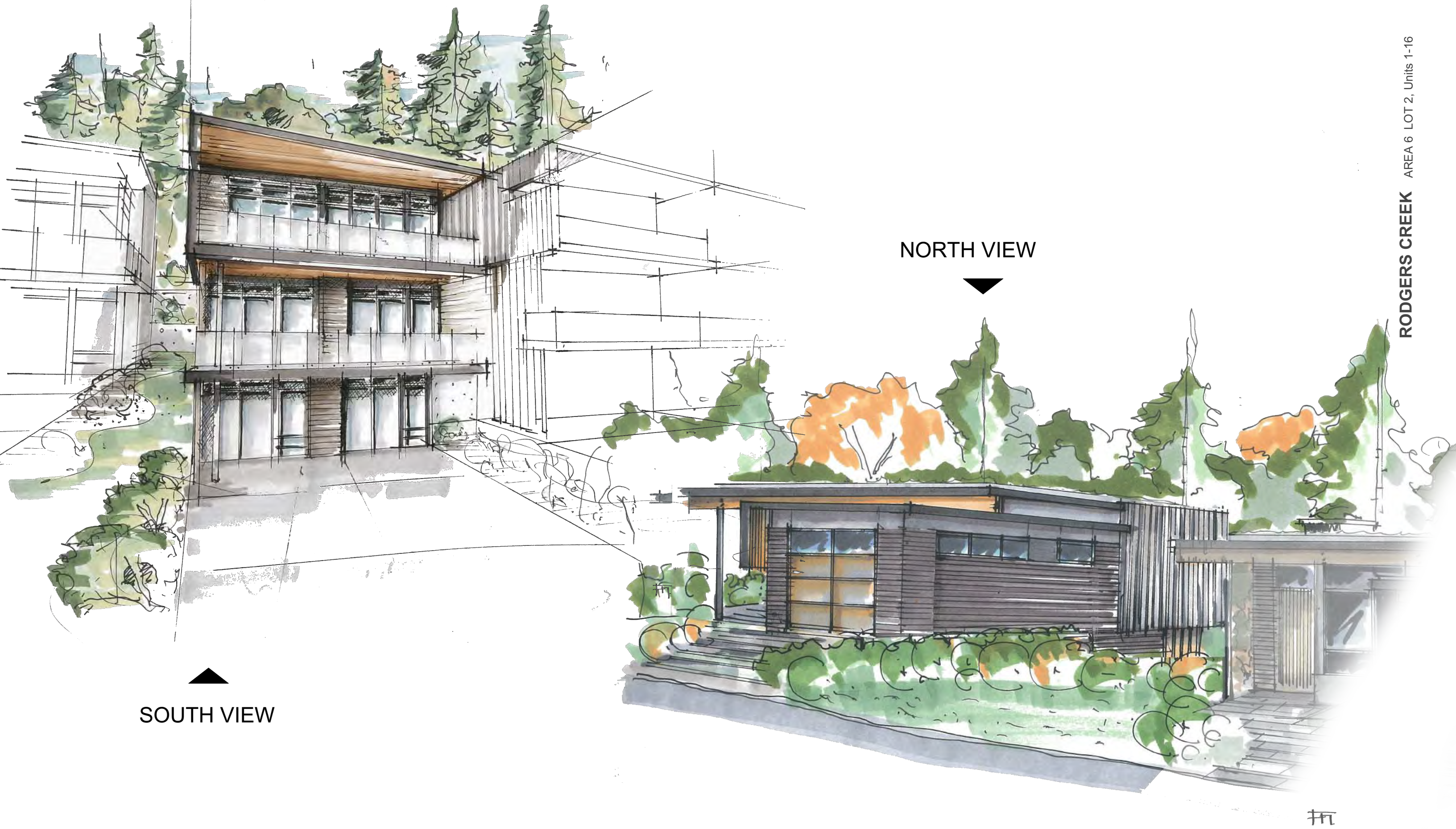
MAIN/ENTRY FLOOR PLAN

 FAR AREA EXEMPTION

AREA CALCULATION (Ft)				
	Lower	Middle	Main	TOTAL
Gross Floor Area - each level	953	1,002	1,295	3,250
TOTAL GROSS AREA				= 3,250
Exemptions				
stair/laundry/hallway/mech	326	0	0	- 326
garage	0	0	289	- 289
TOTAL F.A.R. PROPOSED	0	0	0	= 2,635







NORTH VIEW



SOUTH VIEW



HT





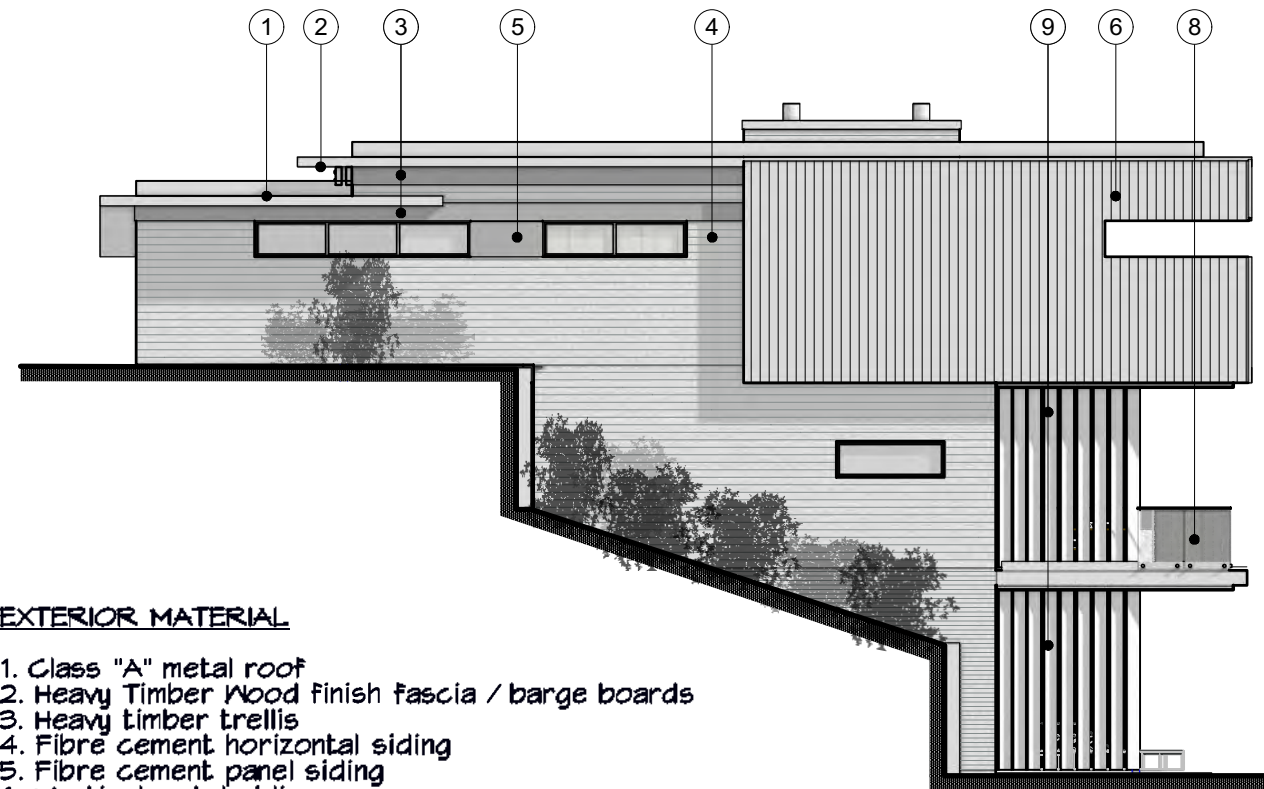
**AREA 6 - LOT 2 - Unit 1 to 5
EAST ELEVATION**



**AREA 6 - LOT 2 - Unit 1 to 5
NORTH ELEVATION**



**AREA 6 - LOT 2 - Unit 1 to 5
SOUTH ELEVATION**



EXTERIOR MATERIAL

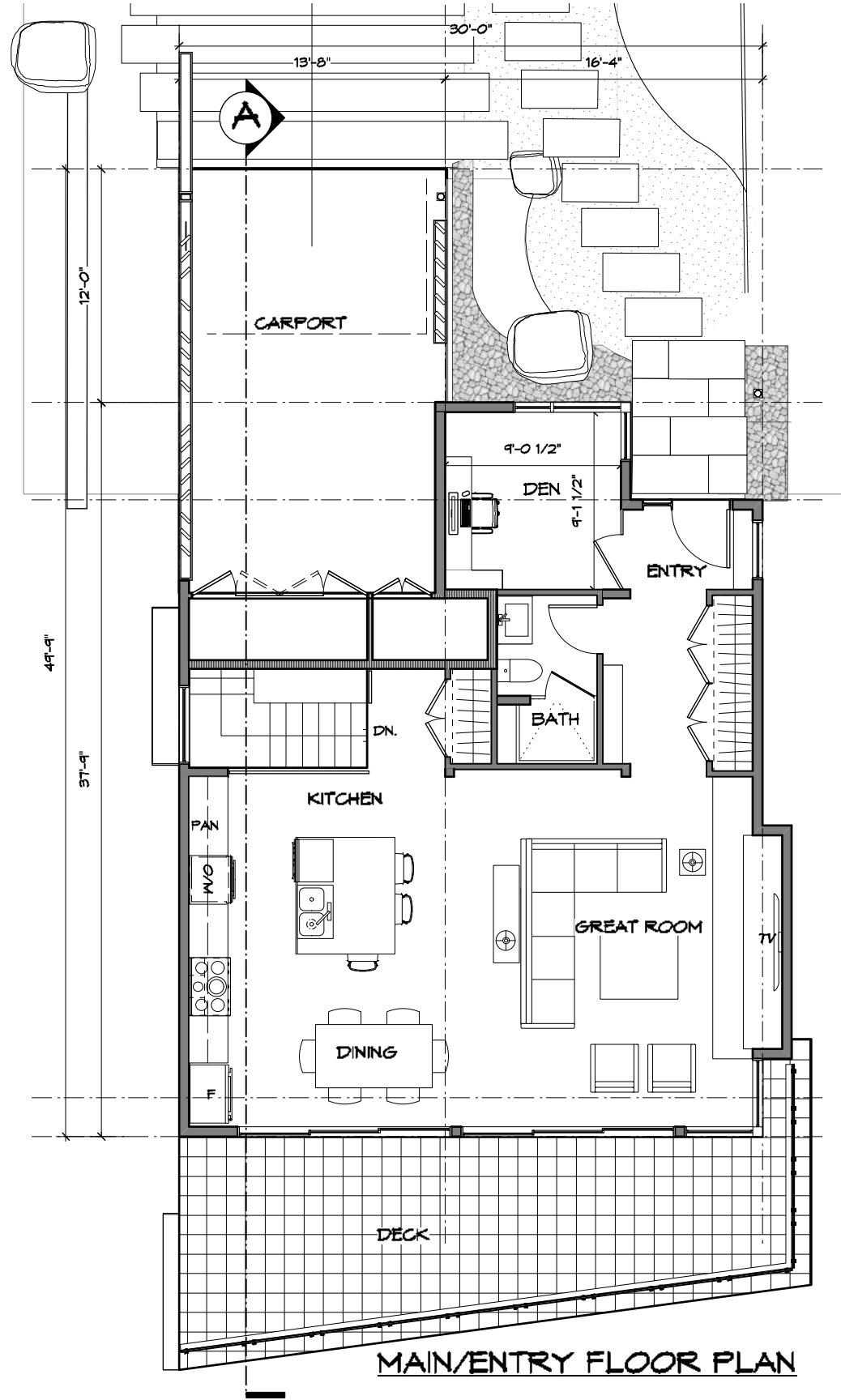
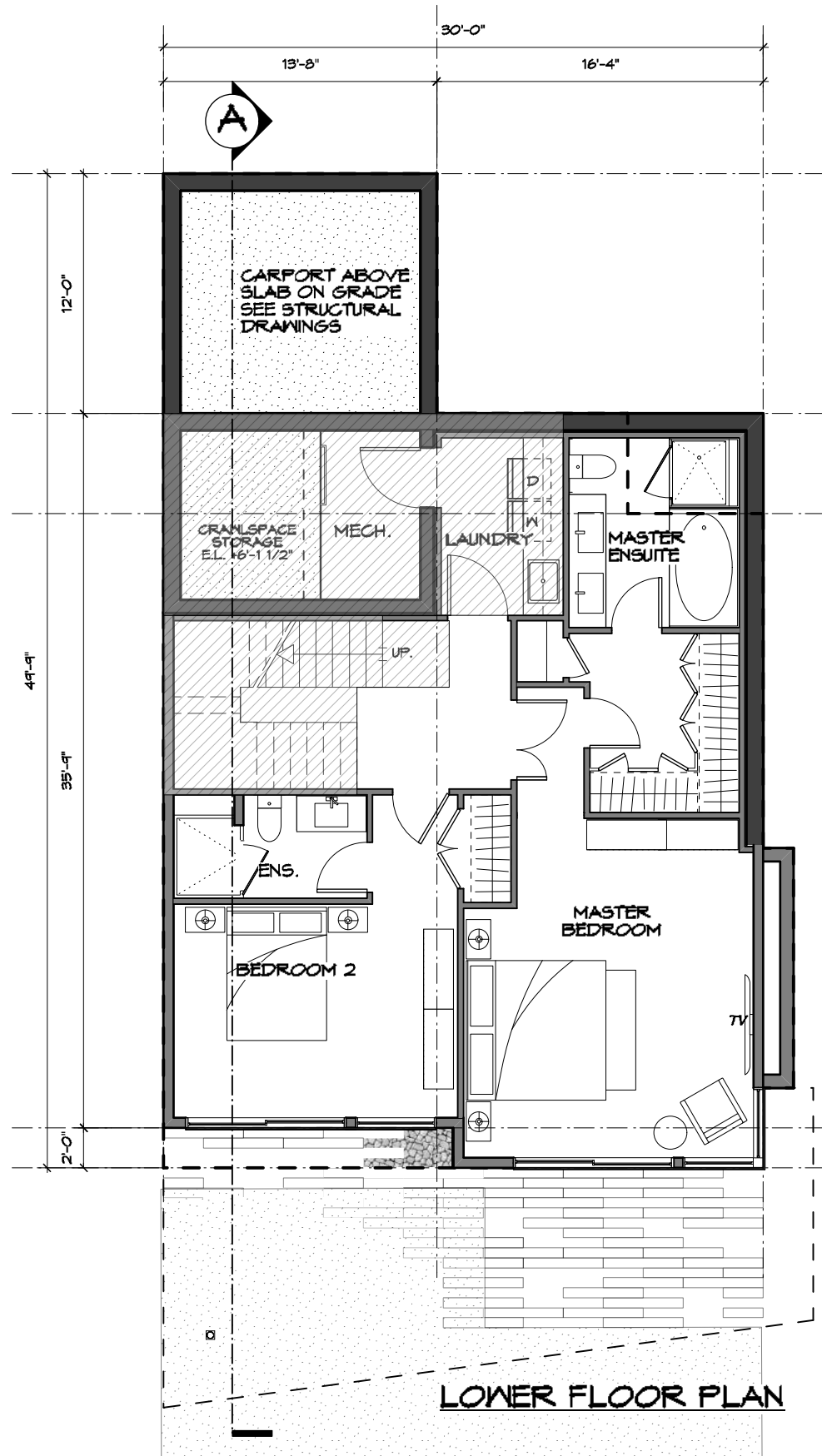
- 1. Class "A" metal roof
- 2. Heavy Timber Wood finish fascia / barge boards
- 3. Heavy timber trellis
- 4. Fibre cement horizontal siding
- 5. Fibre cement panel siding
- 6. Vertical metal siding
- 7. Painted exposed concrete
- 8. Guard-rail glass w/ continuous metal handrail
- 9. Vertical fins; Heavy Timber c/w metal plates

**AREA 6 - LOT 2 - Unit 1 to 5
WEST ELEVATION**



Elevations

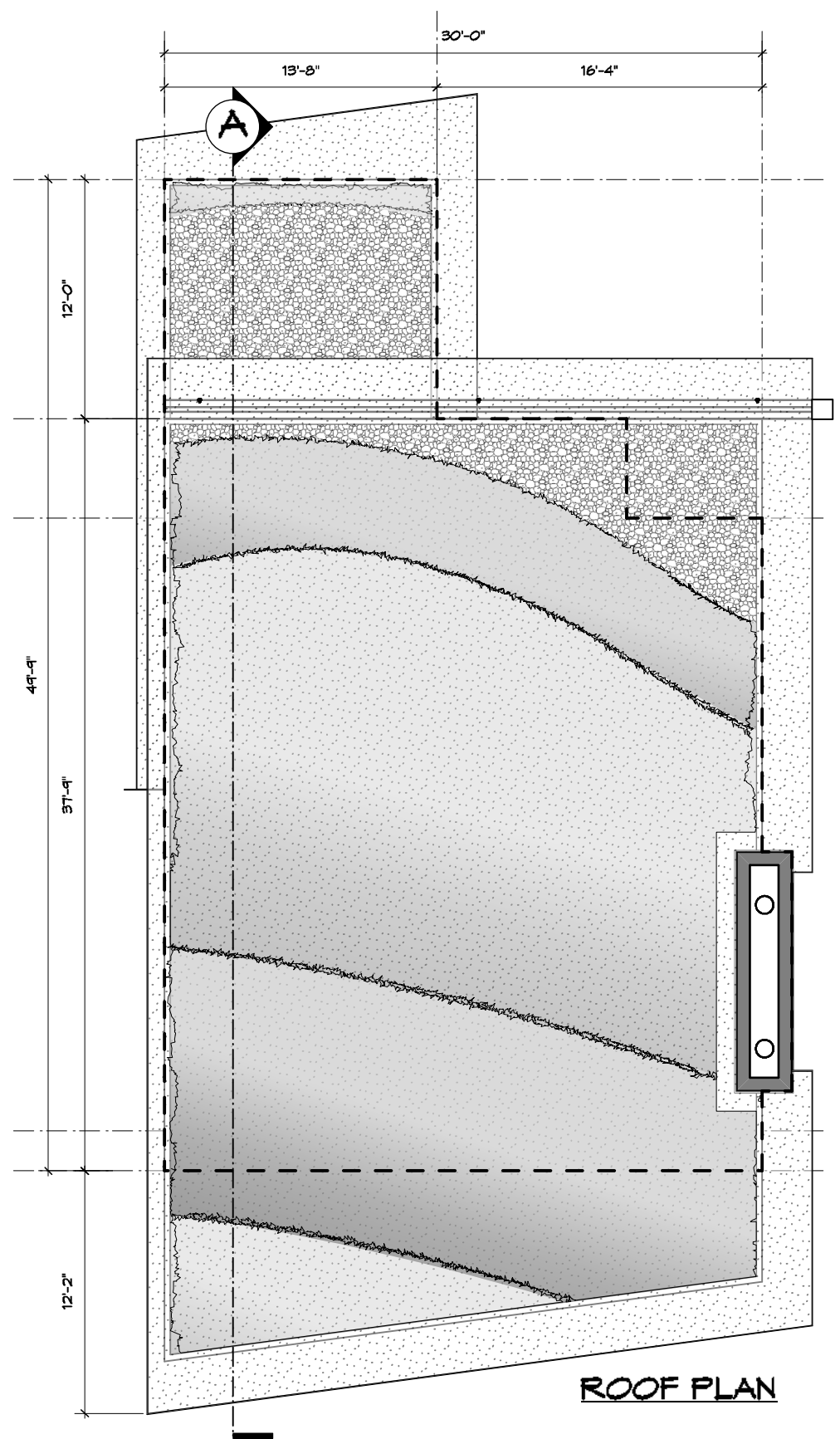
July 6, 2018 Scale 3/16"=1'-0" @ 11"x17

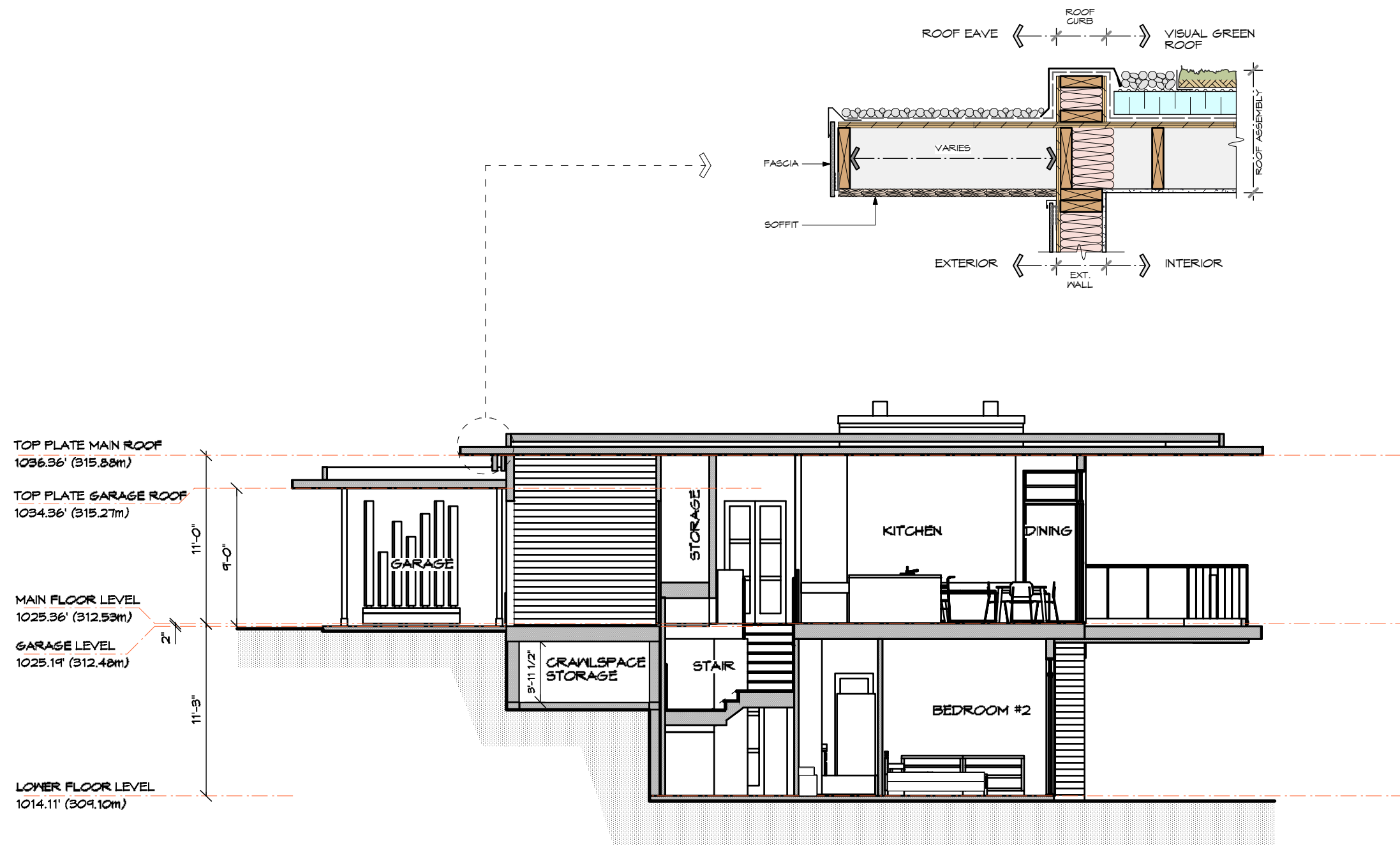


 FAR AREA EXEMPTION

AREA CALCULATION (Ft.)				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,122	1,002	0	2,124
TOTAL GROSS AREA				= 2,124
Exemptions				
stair/hallway	103	0		- 103
crawl space/mech/laundry	202	0		- 202
TOTAL F.A.R. PROPOSED	0	0	0	= 1,819

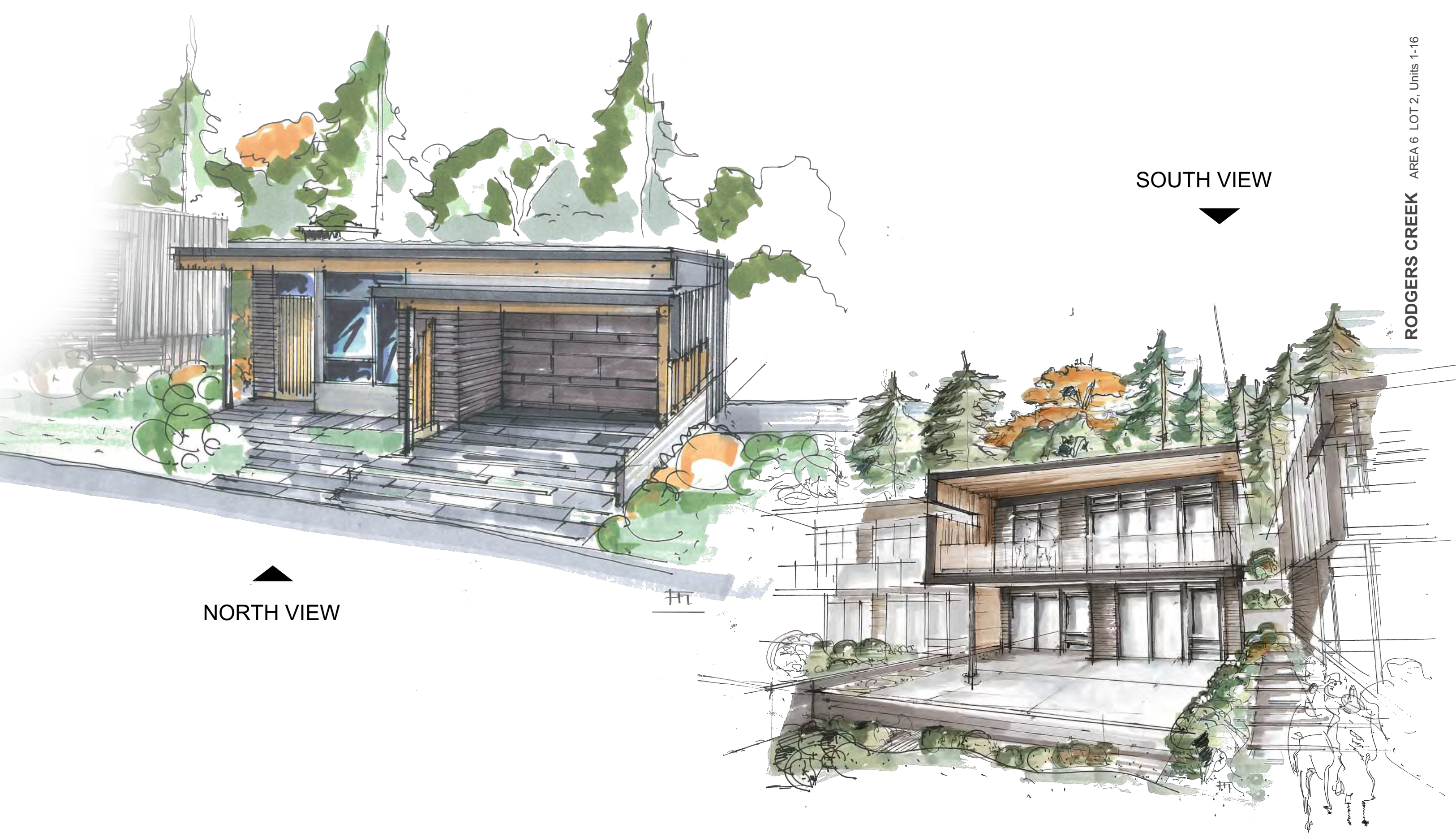






A Section A
Scale: 1/8" = 1'-0"





SOUTH VIEW



NORTH VIEW



RODGERS CREEK AREA 6 LOT 2, Units 1-16



BRITISH PACIFIC PROPERTIES



CREEKSIDE ARCHITECTS

Unit 6 to 9
Sketch Elevations

July 6, 2018 Scale NTS.

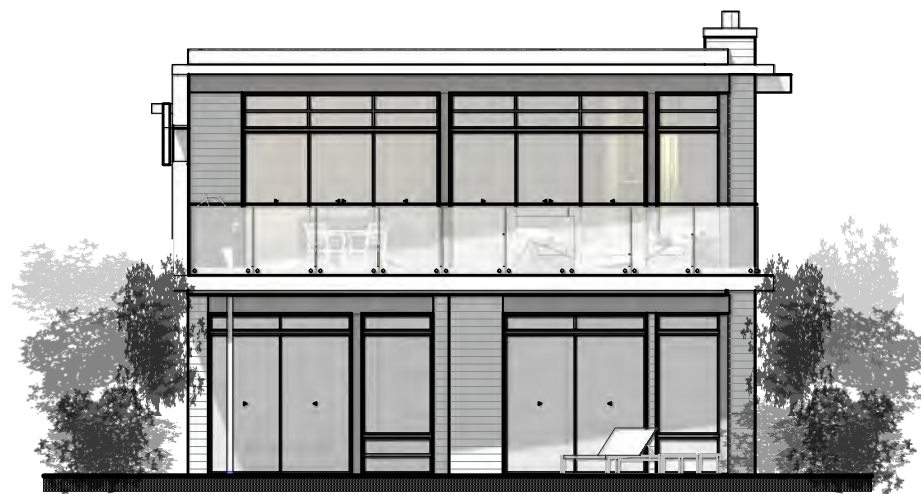
A-3.4



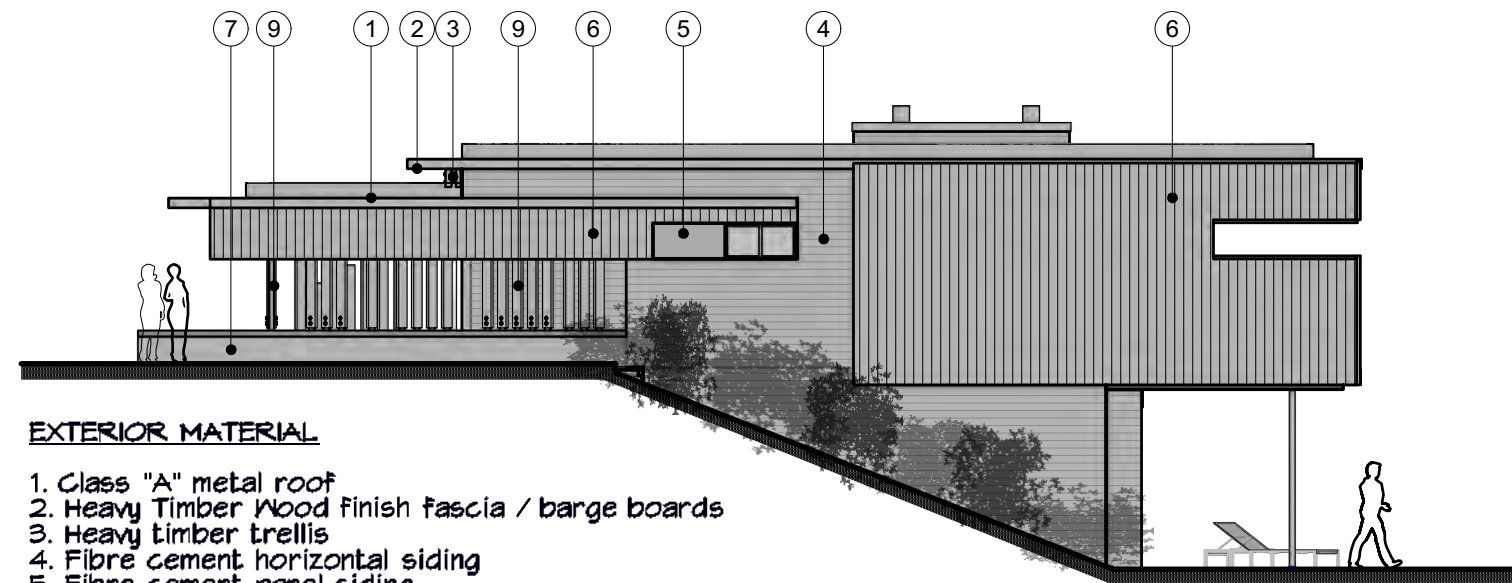
**AREA 6 - LOT 2 - Unit 6 to 9
EAST ELEVATION**



**AREA 6 - LOT 2 - Unit 6 to 9
NORTH ELEVATION**



**AREA 6 - LOT 2 - Unit 6 to 9
SOUTH ELEVATION**

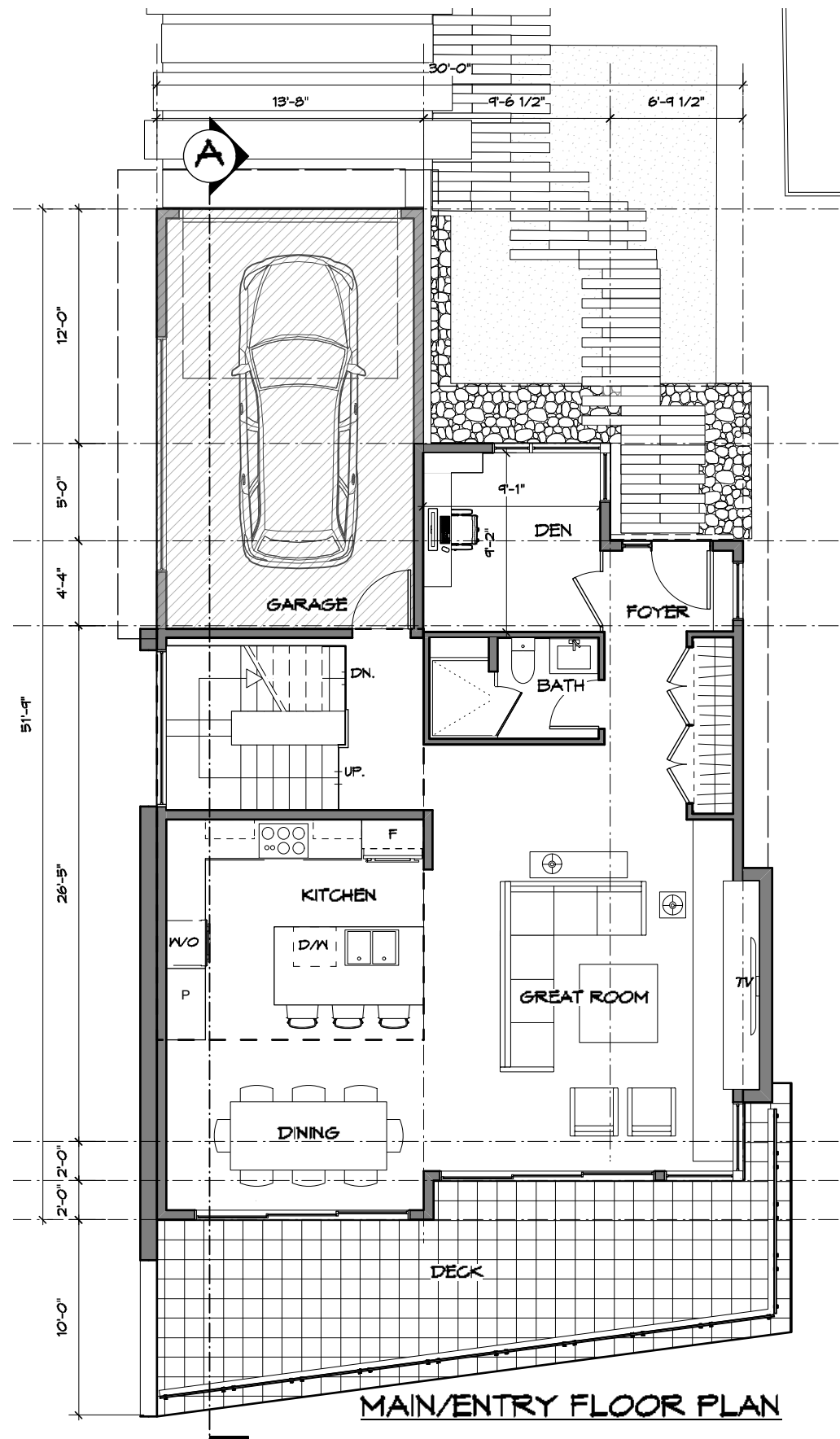
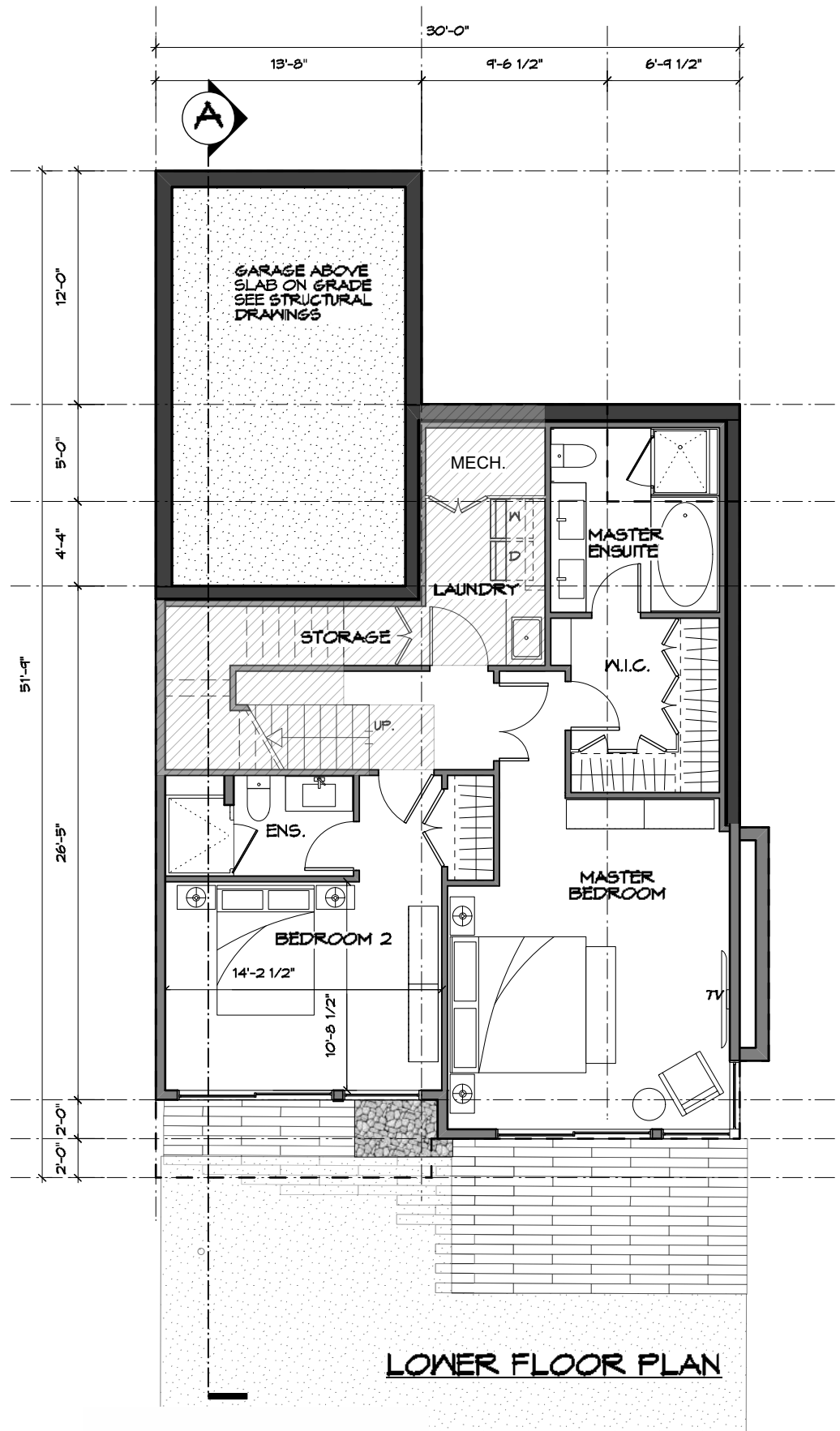


EXTERIOR MATERIAL

1. Class "A" metal roof
2. Heavy Timber Wood finish fascia / barge boards
3. Heavy timber trellis
4. Fibre cement horizontal siding
5. Fibre cement panel siding
6. Vertical metal siding
7. Painted exposed concrete
8. Guard-rail glass w/ continuous metal handrail
9. Vertical fins; Heavy Timber c/w metal plates

**AREA 6 - LOT 2 - Unit 6 to 9
WEST ELEVATION**

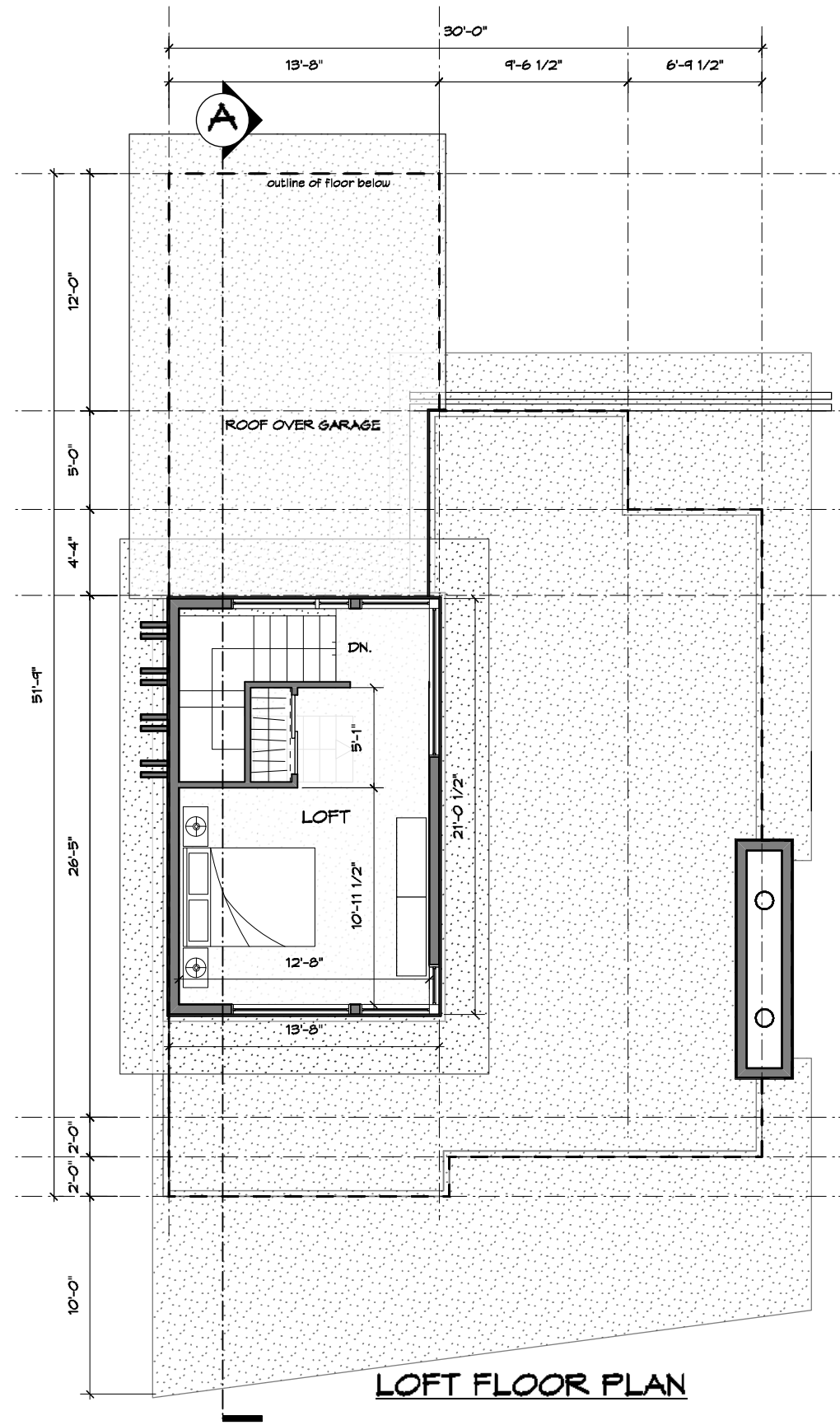
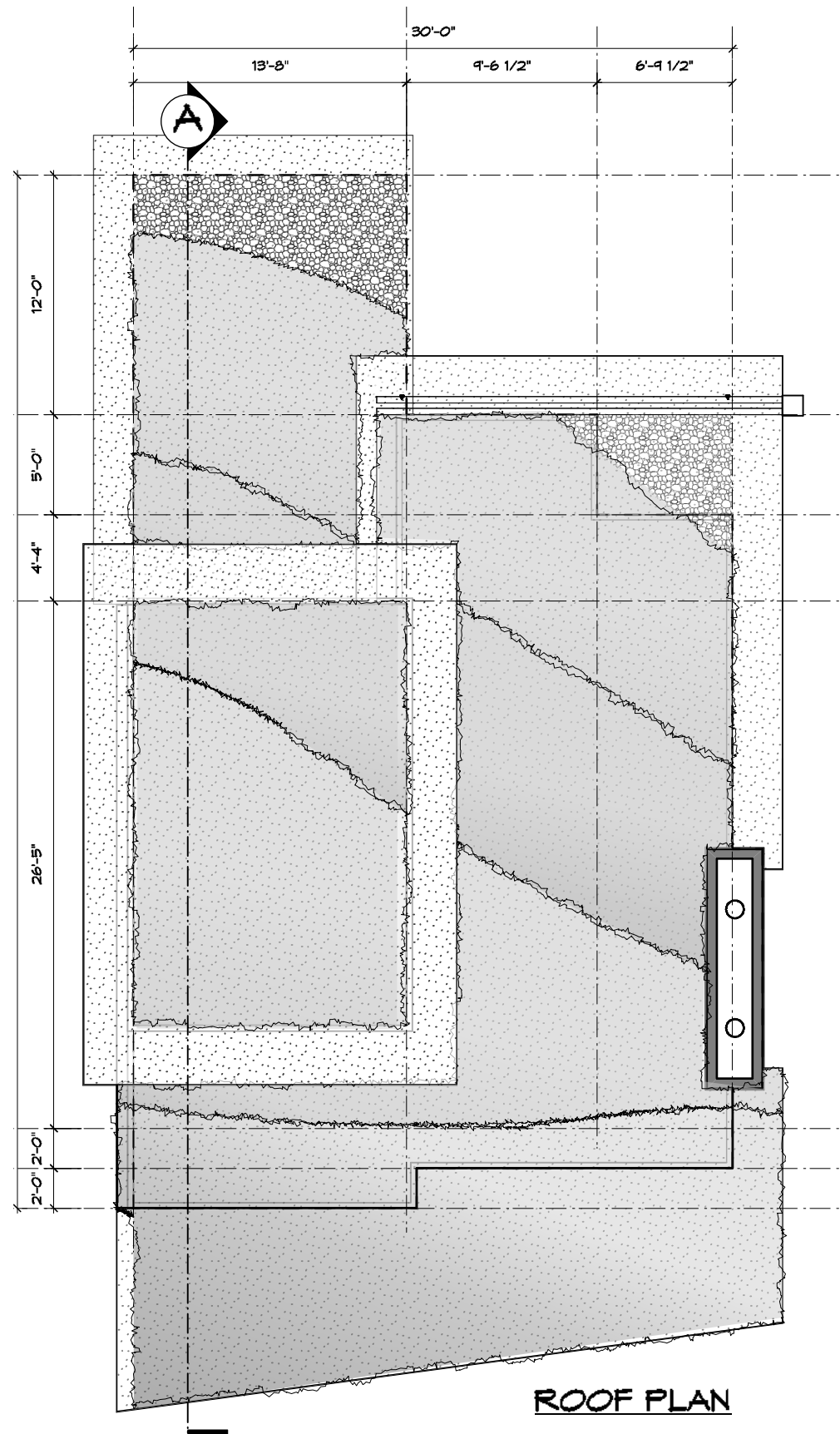




FAR AREA EXEMPTION

AREA CALCULATION (Ft)				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,002	1,334	288	2,624
TOTAL GROSS AREA				= 2,624
Exemptions				
stair/laundry/hallway/mech	202	0	-	202
garage	0	289	-	289
TOTAL F.A.R. PROPOSED	0	0	0	= 2,133

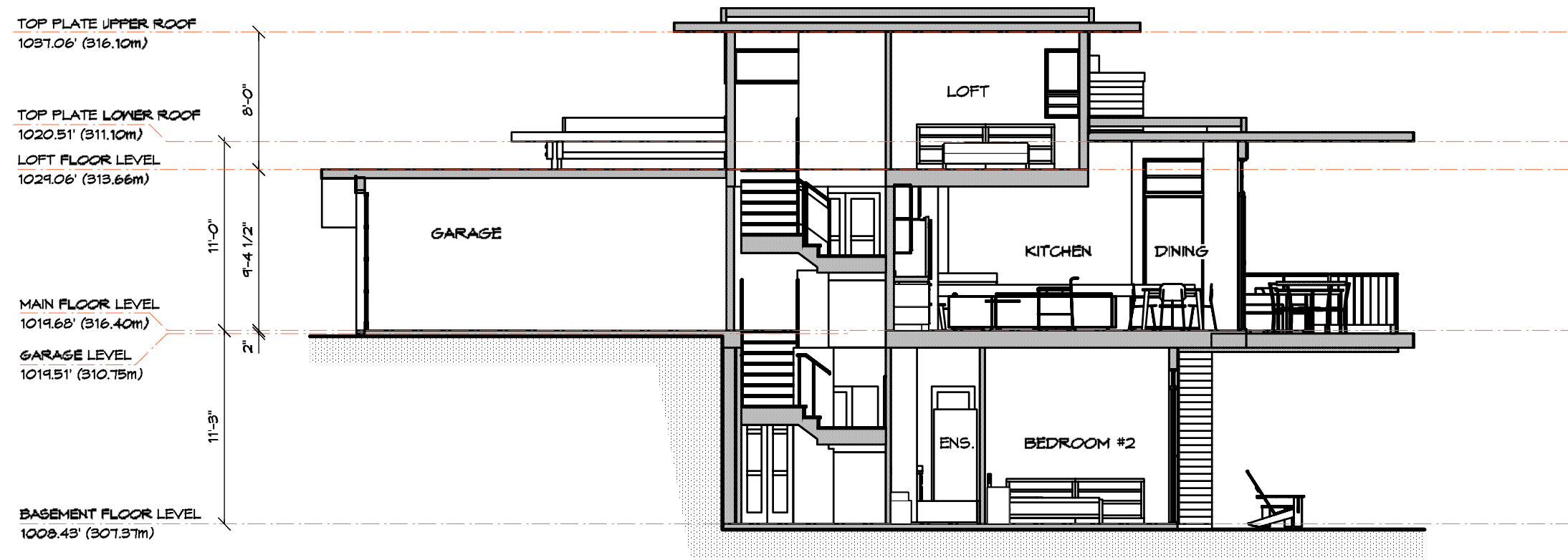




 FAR AREA EXEMPTION

AREA CALCULATION (Ft)				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,002	1,334	288	2,624
TOTAL GROSS AREA				= 2,624
Exemptions				
stair/laundry/hallway/mech	202	0		- 202
garage	0	289		- 289
TOTAL F.A.R. PROPOSED	0	0	0	= 2,133





A Section A
Scale: 1/8" = 1'-0"





▲
SOUTH VIEW

NORTH VIEW
▼





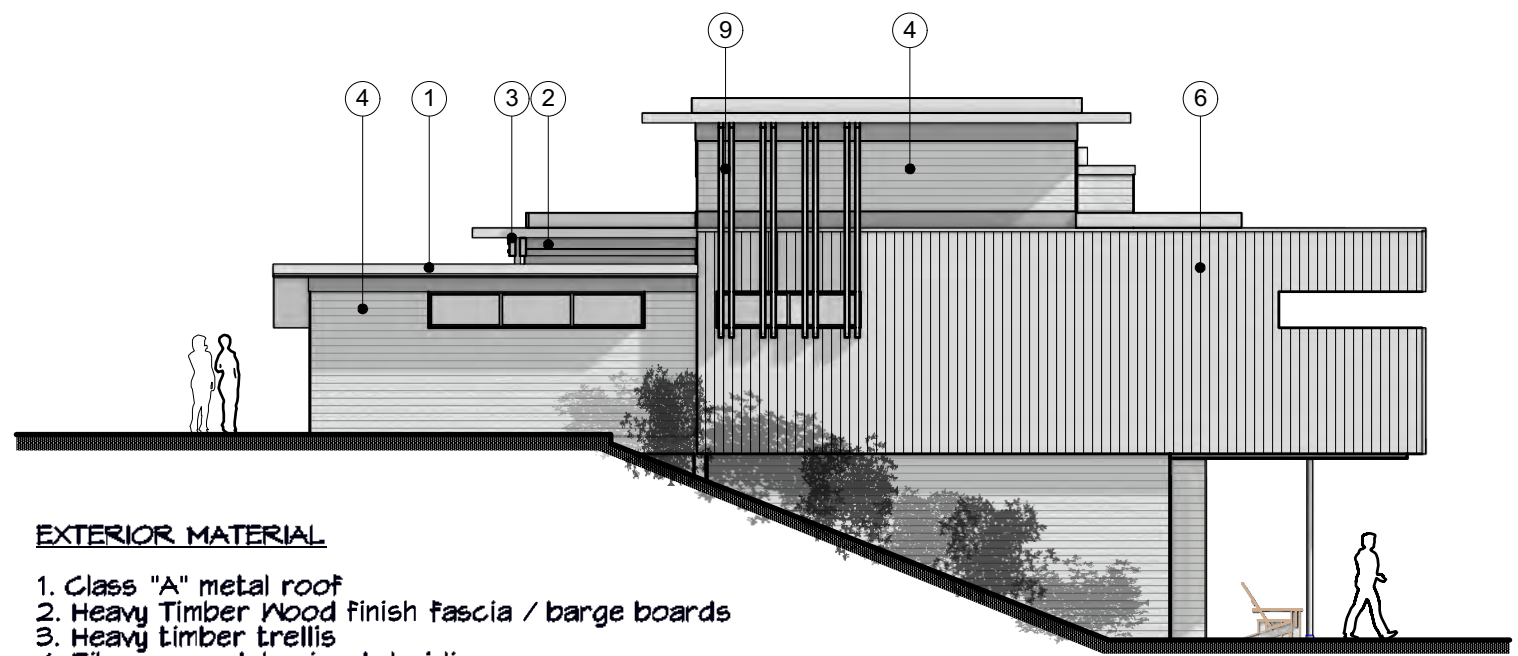
AREA 6 - LOT 2 - Unit 10 to 12
EAST ELEVATION



AREA 6 - LOT 2 - Unit 10 to 12
NORTH ELEVATION



AREA 6 - LOT 2 - Unit 10 to 12
SOUTH ELEVATION



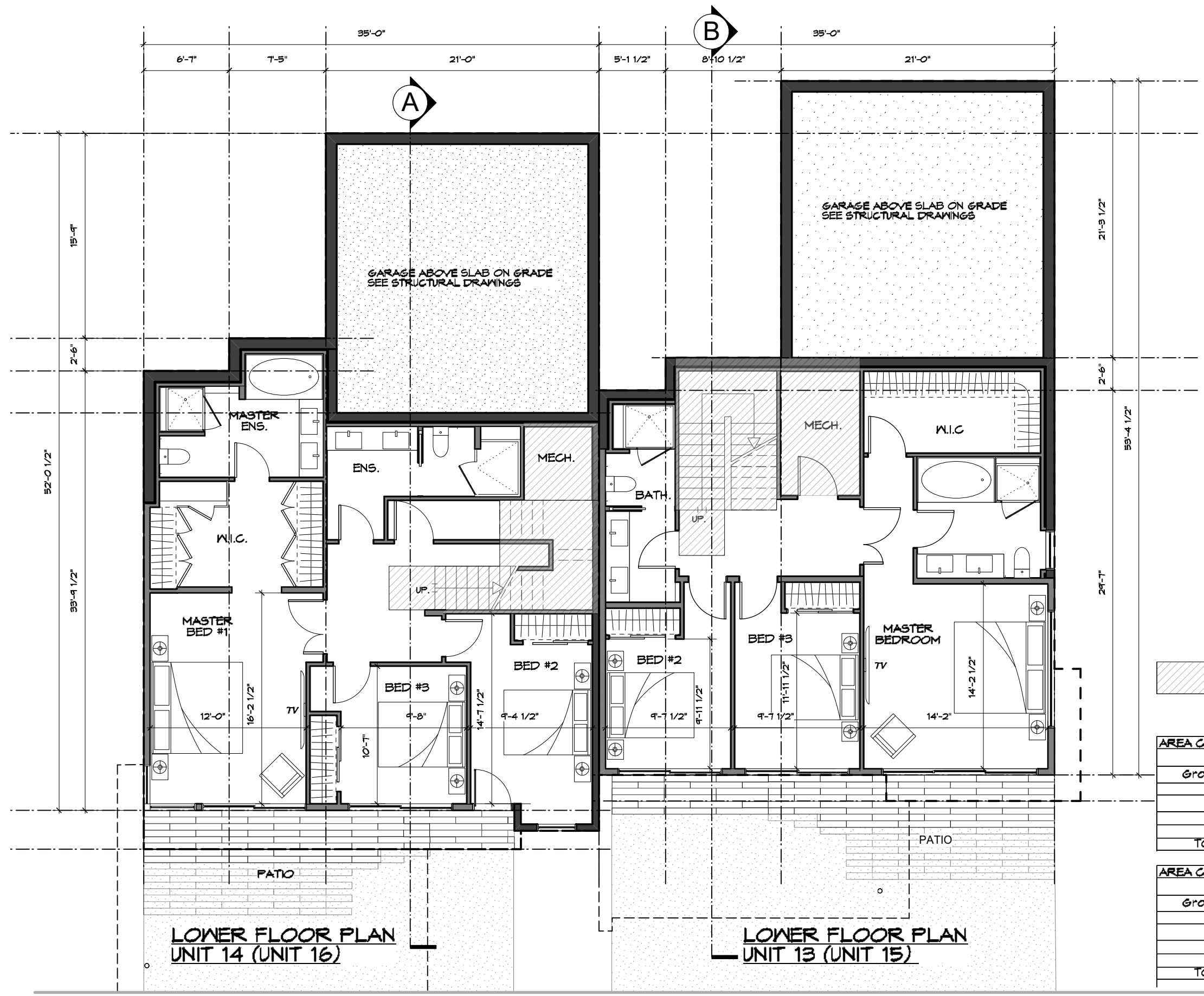
EXTERIOR MATERIAL

- 1. Class "A" metal roof
- 2. Heavy Timber Wood finish fascia / barge boards
- 3. Heavy timber trellis
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- 5. Fibre cement panel siding
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- 8. Guard-rail glass w/ continuous metal handrail
- 9. Vertical fins; Heavy Timber c/w metal plates

AREA 6 - LOT 2 - Unit 10 to 12
WEST ELEVATION



UNIT 10, 11 & 12
Elevations



FAR AREA EXEMPTION

AREA CALCULATION (Ft.) Lot 13 & 15				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,110	1,603	272	2,985
TOTAL GROSS AREA				= 2,985
Exemptions				
stair/laundry/hallway/mech	171	0	0	171
garage	0	448	0	448
TOTAL F.A.R. PROPOSED	0	0	0	= 2,366

AREA CALCULATION (Ft.) LOT 14 & 16				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,148	1,708	0	2,856
TOTAL GROSS AREA				= 2,856
Exemptions				
stair/laundry/hallway/mech	130	0	0	130
garage	0	448	0	448
TOTAL F.A.R. PROPOSED	0	0	0	= 2,278

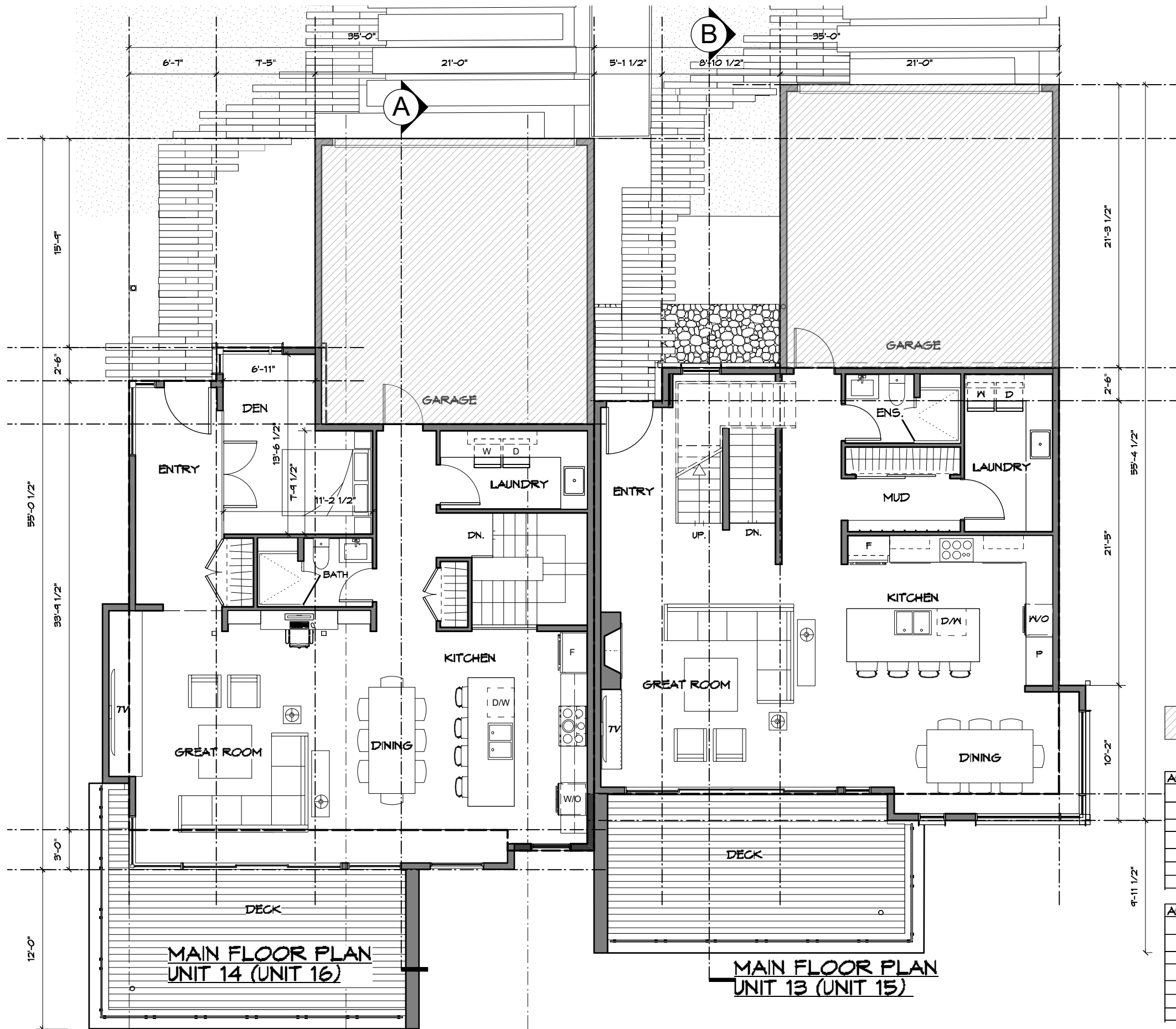
**LOWER FLOOR PLAN
UNIT 14 (UNIT 16)**

**LOWER FLOOR PLAN
UNIT 13 (UNIT 15)**

**DUPLEX UNIT 13 & 14 (15 & 16 same)
Lower Floor Plan**

July 6, 2018 Scale 1/4"=1'-0" @ 11"x17"





FAR AREA EXEMPTION

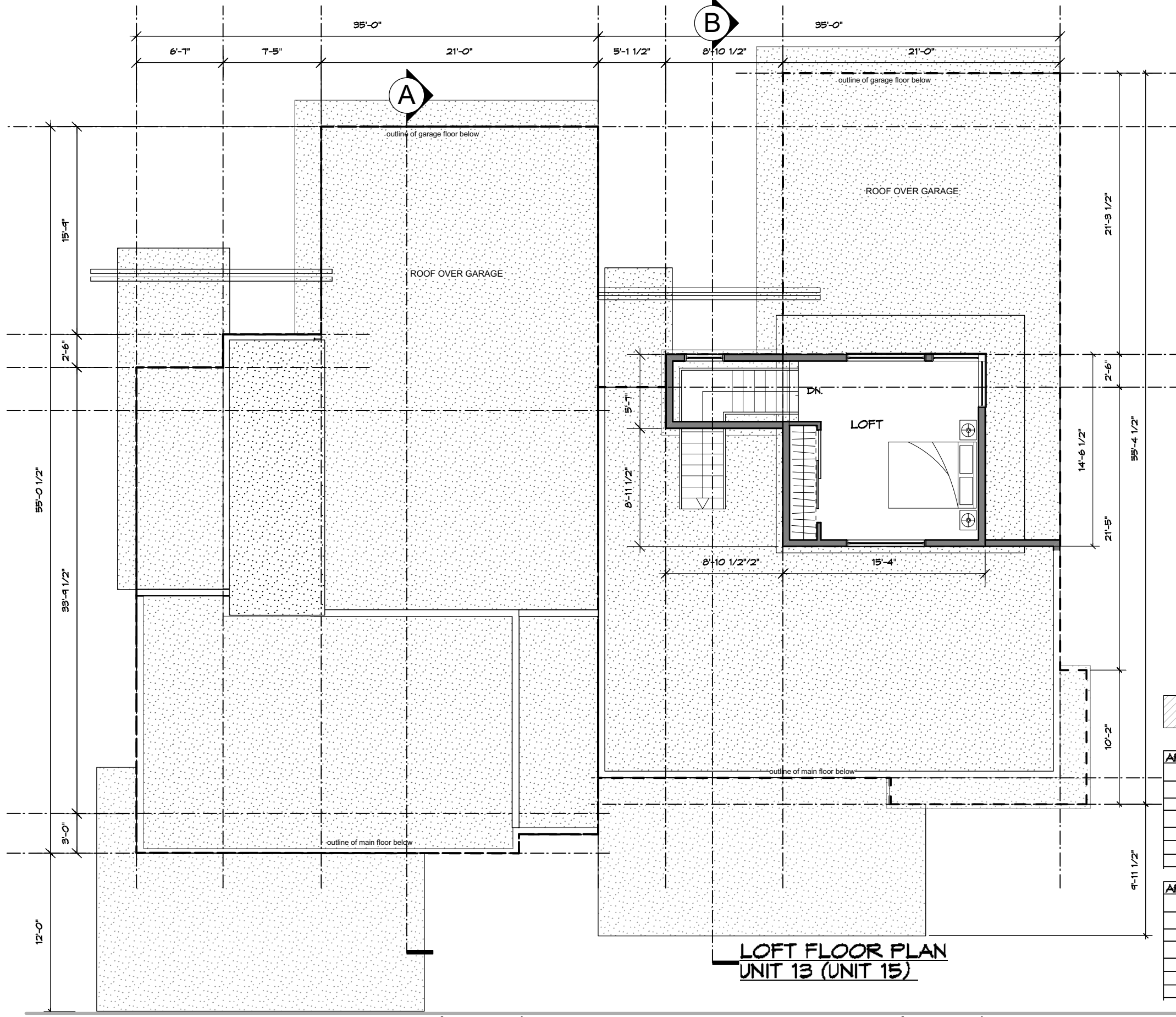
AREA CALCULATION (Ft) Lot 13 & 15				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,110	1,603	272	2,985
TOTAL GROSS AREA				= 2,985
Exemptions				
stair/laundry/hallway/mech	171	0	0	171
garage	0	448	0	448
TOTAL F.A.R. PROPOSED	0	0	0	= 2,366

AREA CALCULATION (Ft) LOT 14 & 16				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,148	1,708	0	2,856
TOTAL GROSS AREA				= 2,856
Exemptions				
stair/laundry/hallway/mech	130	0	0	130
garage	0	448	0	448
TOTAL F.A.R. PROPOSED	0	0	0	= 2,278



DUPLEX UNIT 13 & 14 (15 & 16 same) Main Floor Plan

July 6, 2018 Scale 1/4"=1'-0" @ 11"x17"



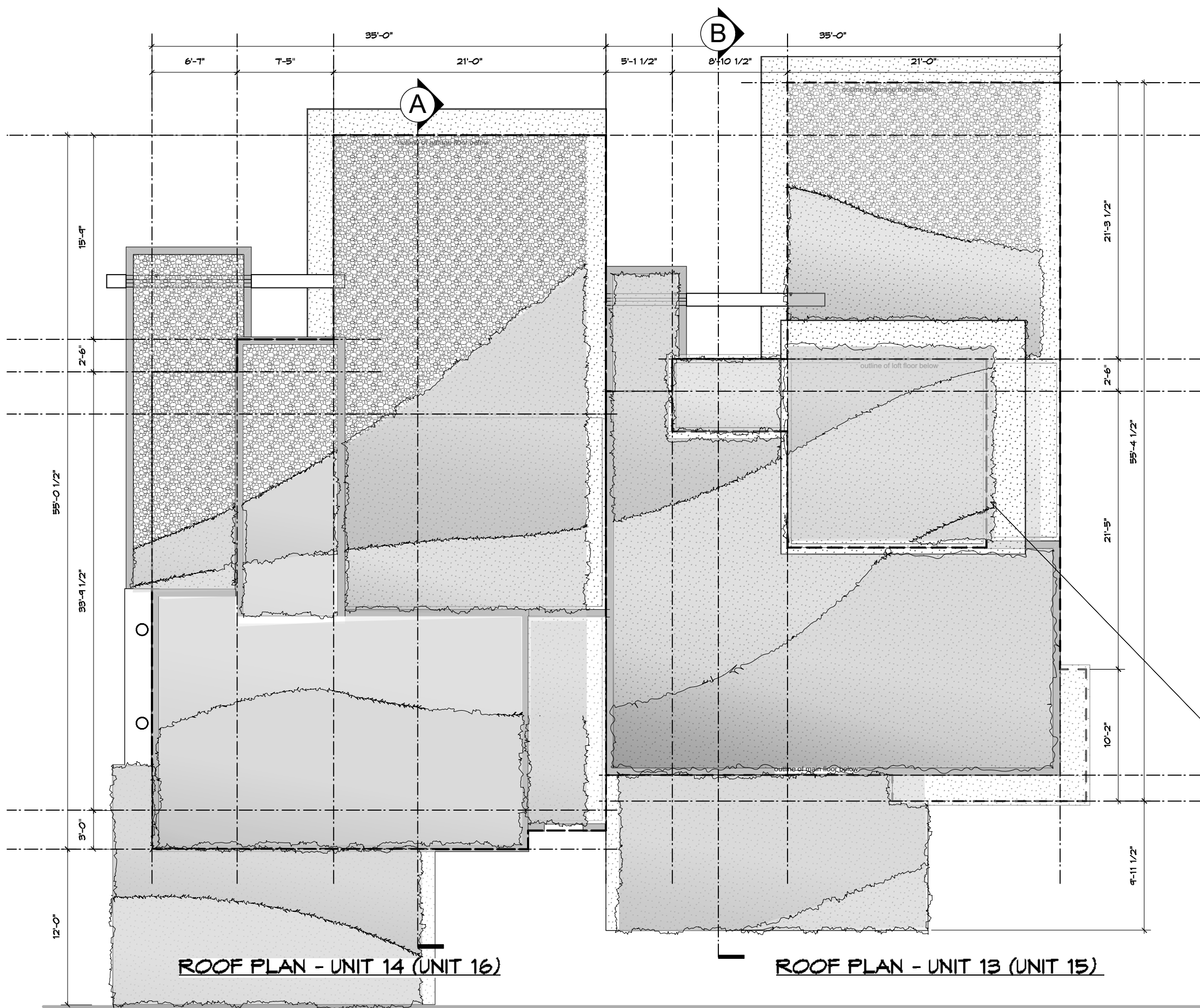
**LOFT FLOOR PLAN
UNIT 13 (UNIT 15)**

 FAR AREA EXEMPTION

AREA CALCULATION (Ft.) LOT 13 & 15				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,110	1,603	272	2,985
TOTAL GROSS AREA				= 2,985
Exemptions				
stair/laundry/hallway/mech	171	0	0	171
garage	0	448	0	448
TOTAL F.A.R. PROPOSED	0	0	0	= 2,366

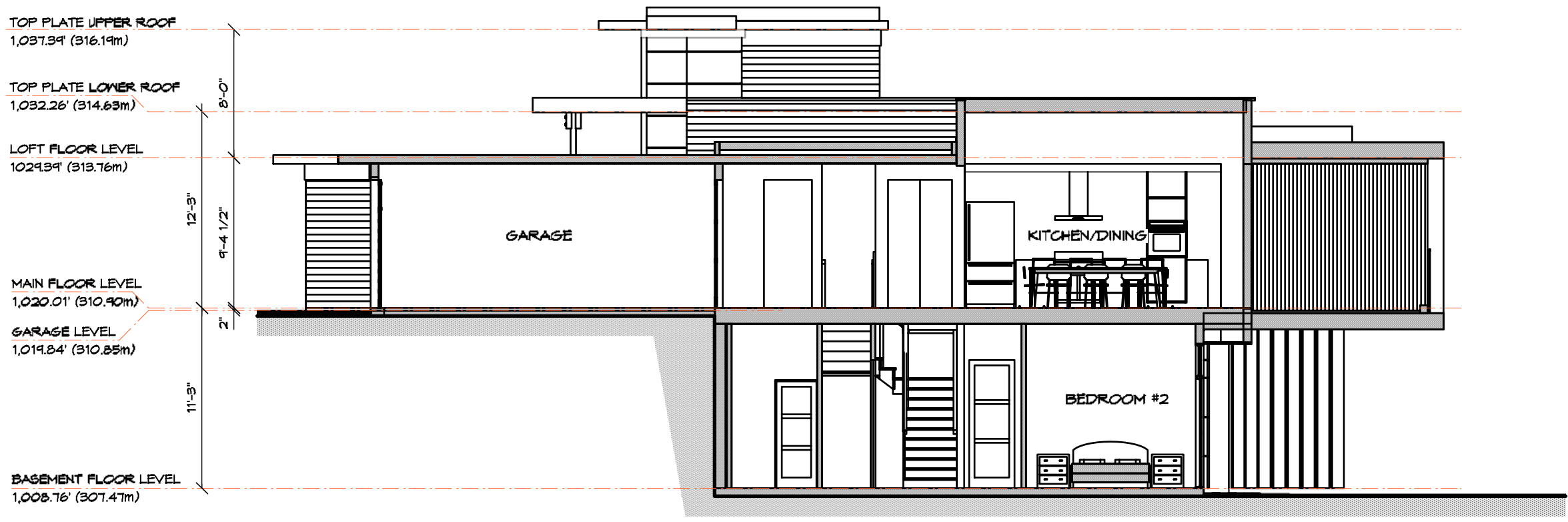
AREA CALCULATION (Ft.) LOT 14 & 16				
	Lower	Main	Loft	TOTAL
Gross Floor Area - each level	1,148	1,708	0	2,856
TOTAL GROSS AREA				= 2,856
Exemptions				
stair/laundry/hallway/mech	130	0	0	130
garage	0	448	0	448
TOTAL F.A.R. PROPOSED	0	0	0	= 2,278



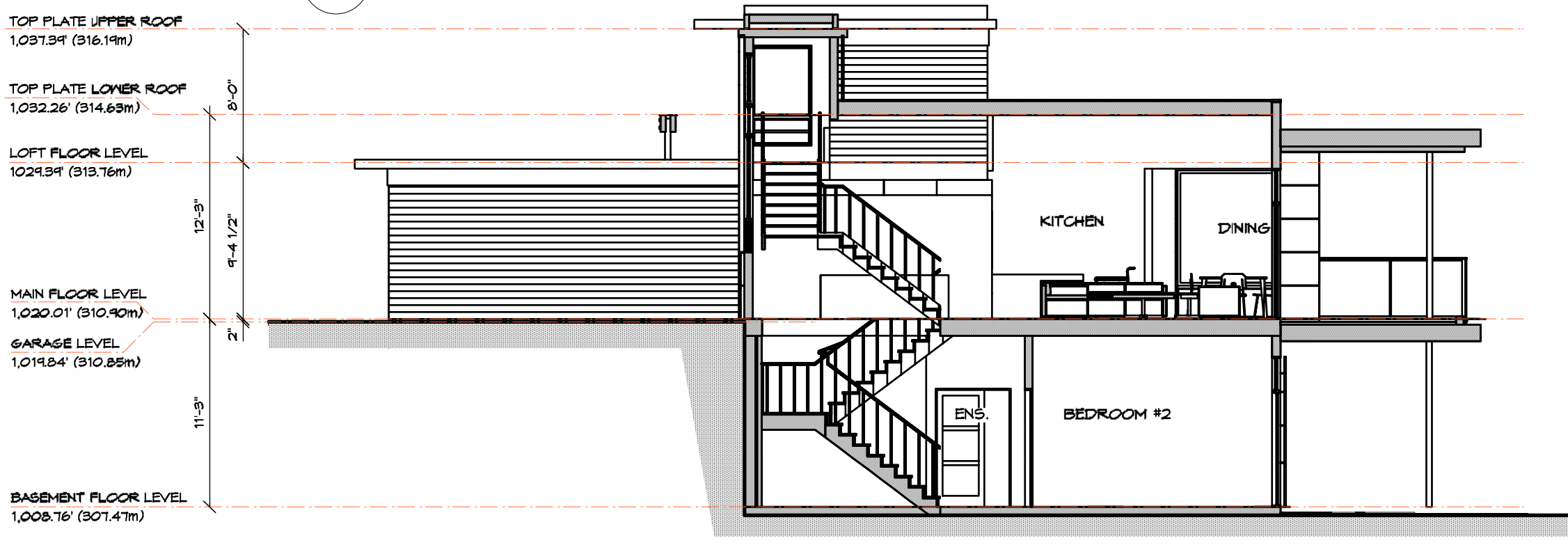


**UNIT 13 & 14 (15 & 16 same)
Roof Plan**

July 6, 2018 Scale 1/4"=1'-0" @ 11"x17



A Section A Unit 14 (16 same)
Scale: 1/8" = 1'-0"



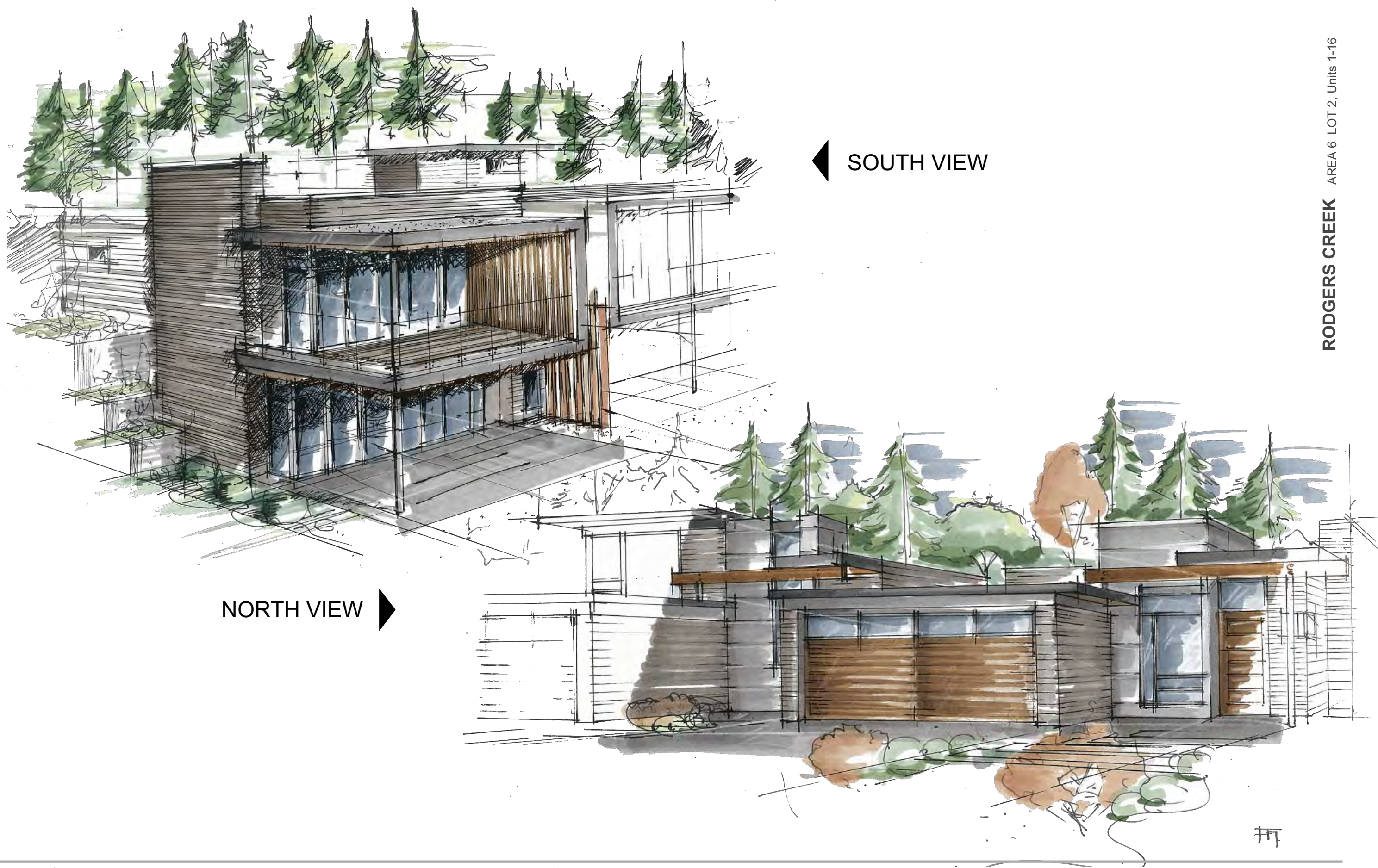
B Section B Unit 13 (15 same)
Scale: 1/8" = 1'-0"

UNIT 13 & 14 (15 & 16 same)

Sections

July 6, 2018 Scale 1/4"=1'-0" @ 11"x17





◀ SOUTH VIEW

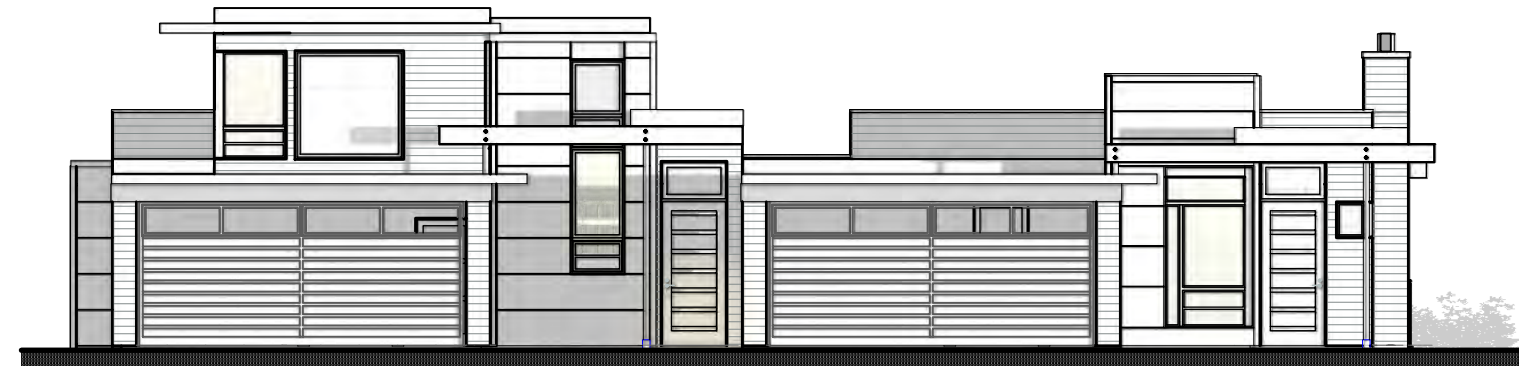
NORTH VIEW ▶

TH





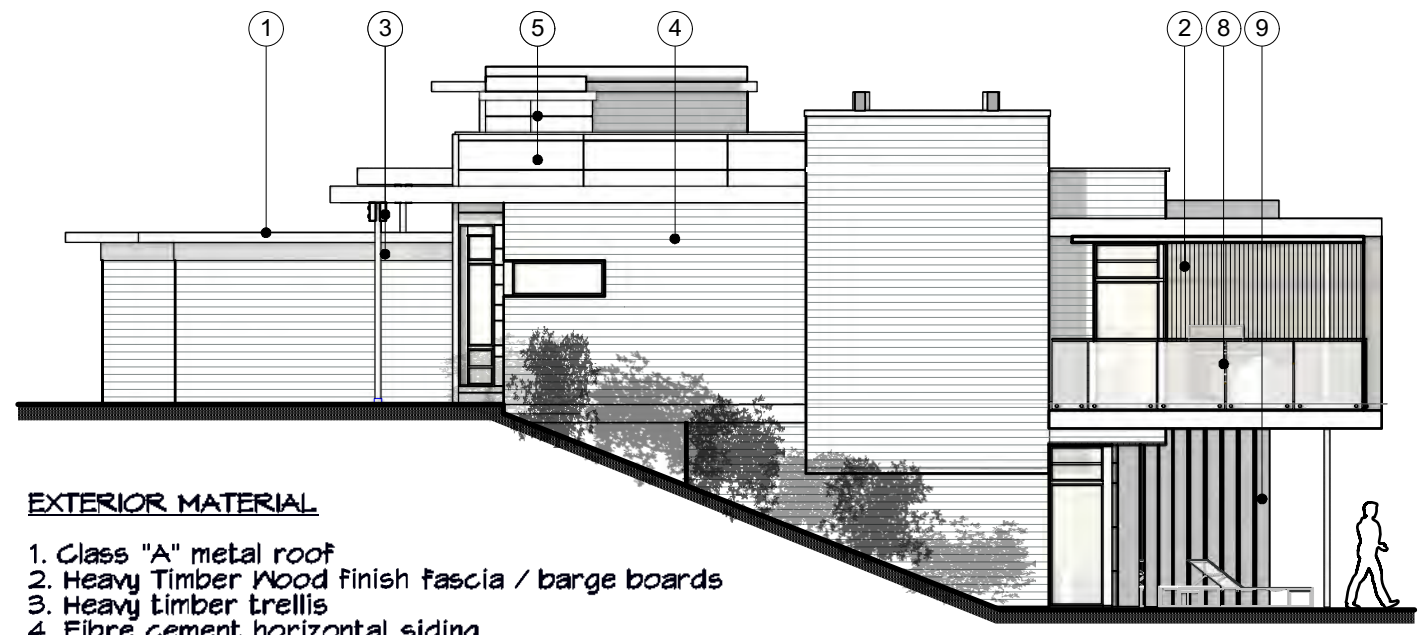
**AREA 6 - LOT 2 - DUPLEX - Unit 13 to 16
EAST ELEVATION**



**AREA 6 - LOT 2 - DUPLEX - Unit 13 to 16
NORTH ELEVATION**



**AREA 6 - LOT 2 - DUPLEX - Unit 13 to 16
SOUTH ELEVATION**



EXTERIOR MATERIAL

- 1. Class "A" metal roof
- 2. Heavy Timber Wood finish fascia / barge boards
- 3. Heavy timber trellis
- 4. Fibre cement horizontal siding
- 5. Fibre cement panel siding
- 6. Vertical metal siding
- 7. Painted exposed concrete
- 8. Guard-rail glass w/ continuous metal handrail
- 9. Vertical fins; Heavy Timber c/w metal plates

**AREA 6 - LOT 2 - DUPLEX - Unit 13 to 16
WEST ELEVATION**





Rodgers Creek - Area 6 - Lot 2

Context Plan

April 20, 2018 Scale NTS @ 11"x17"

LDP 1



BRITISH PACIFIC
PROPERTIES

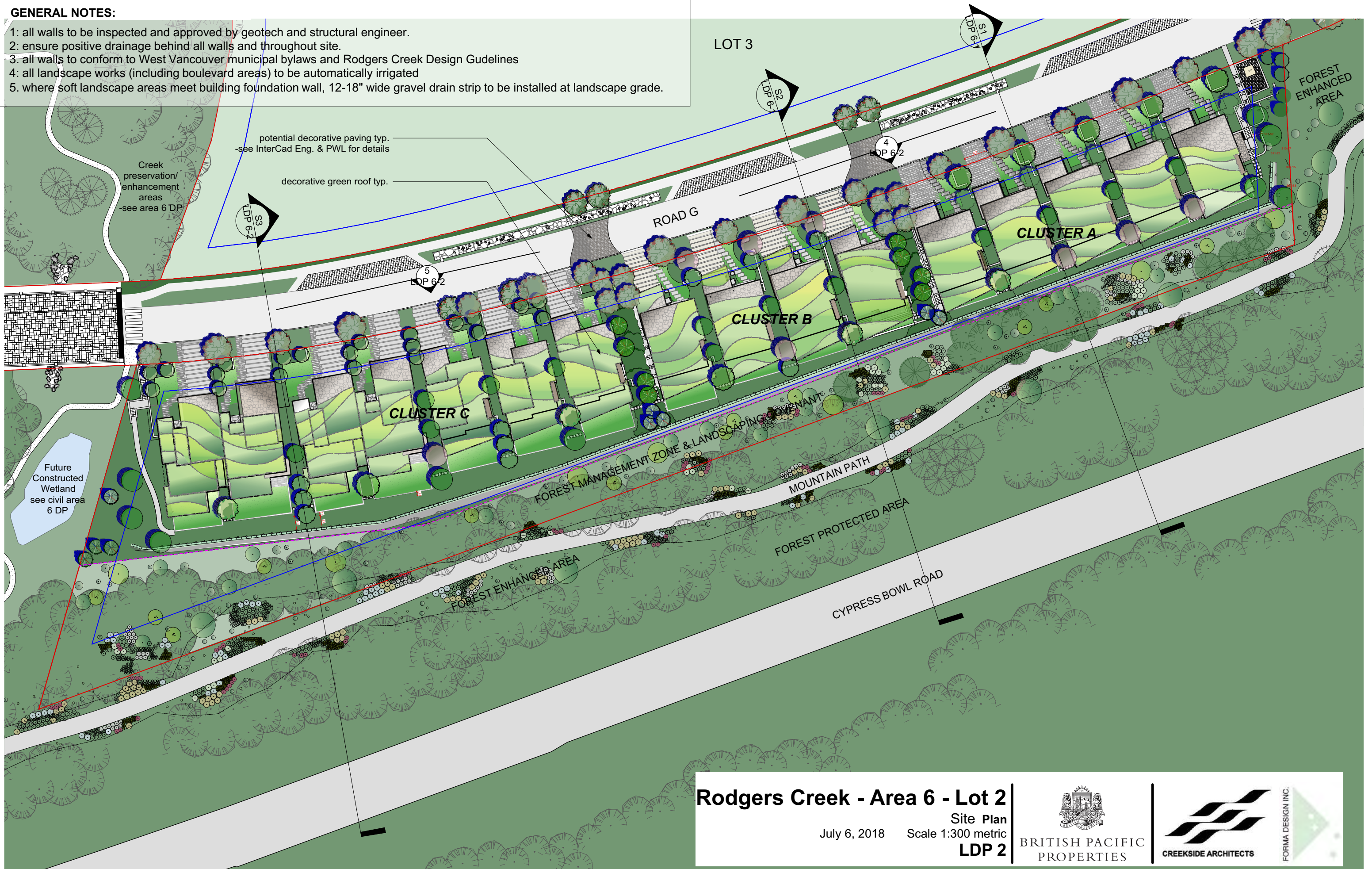


CREEKSIDE ARCHITECTS

FORMA DESIGN INC.

GENERAL NOTES:

1. all walls to be inspected and approved by geotech and structural engineer.
2. ensure positive drainage behind all walls and throughout site.
3. all walls to conform to West Vancouver municipal bylaws and Rodgers Creek Design Guidelines
4. all landscape works (including boulevard areas) to be automatically irrigated
5. where soft landscape areas meet building foundation wall, 12-18" wide gravel drain strip to be installed at landscape grade.



Rodgers Creek - Area 6 - Lot 2

July 6, 2018 Scale 1:300 metric
LDP 2



Material Concept Images:



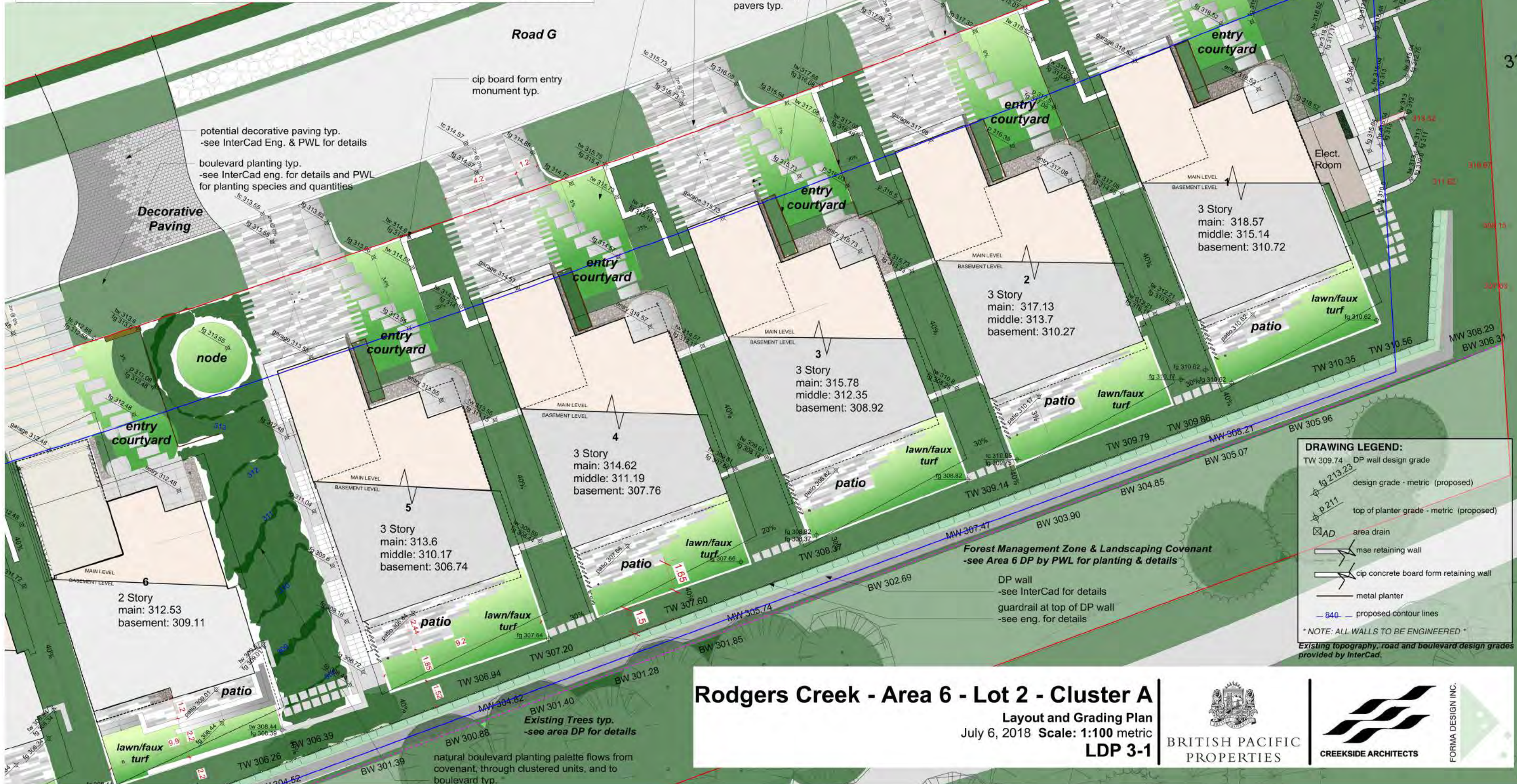
river rock



linear driveway pavers



cip concrete slab walkway



Rodgers Creek - Area 6 - Lot 2 - Cluster A

Layout and Grading Plan
July 6, 2018 Scale: 1:100 metric
LDP 3-1



FORMA DESIGN INC.

Material Concept Images:



metal planter



board form concrete



boulders in grade



Key Plan
Scale: 1:2000
decorative paving typ.
-see InterCad Eng. & PWL for details

boulevard planting typ.
-see InterCad eng. for details and PWL for planting species and quantities

maintenance access typ.

lawn typ.

lawn/faux turf

patio

entry courtyard

node

garage

main level

basement level

2 Story main: 310.79 basement: 307.36

2 Story + Loft main: 310.8 basement: 307.37

2 Story main: 311.0 basement: 307.57

2 Story main: 311.87 basement: 308.44

2 Story main: 312.53 basement: 309.11

2 Story main: 311.82 basement: 308.44

2 Story main: 311.82 basement: 308.44

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2 Story main: 311.82 basement: 308.44

DRAWING LEGEND:

- TW 309.74 DP wall design grade
- fg 213.23 design grade - metric (proposed)
- p 211 top of planter grade - metric (proposed)
- AD area drain
- mse retaining wall
- cip concrete board form retaining wall
- metal planter
- 840 proposed contour lines

* NOTE: ALL WALLS TO BE ENGINEERED *

Existing topography, road and boulevard design grades provided by InterCad.

Rodgers Creek - Area 6 - Lot 2 - Cluster B&C

Layout and Grading Plan
July 6, 2018 Scale: 1:100 metric
LDP 3-2



DP wall typ.
-see InterCad Consulting Eng. for details

Forest Management Zone & Landscaping Covenant
-see Area 6 DP by PWL for planting & details

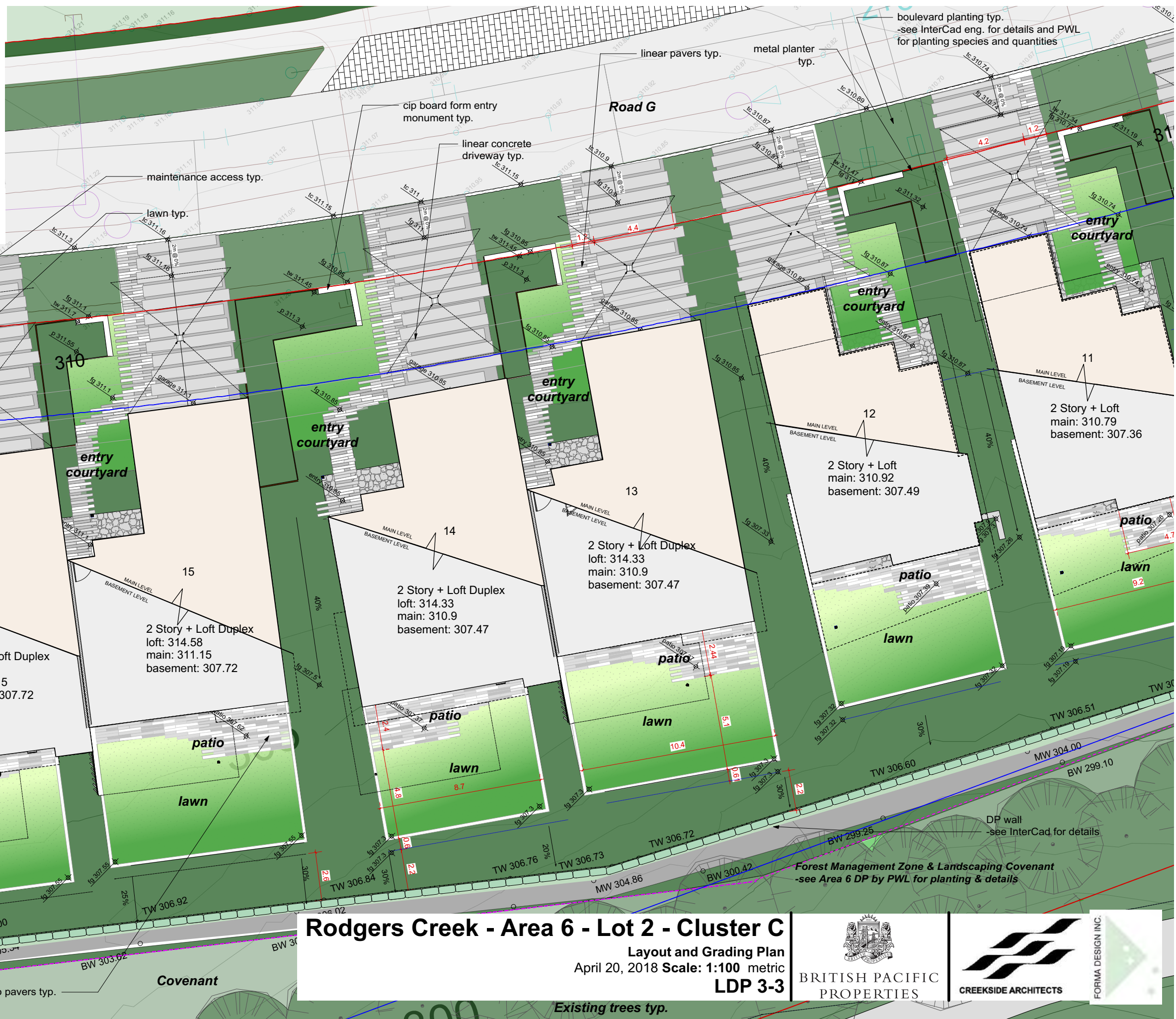
Existing trees typ.

guardrail at top of DP wall
-see eng. for details

natural boulevard planting palette flows from covenant, through clustered units, and to boulevard typ.

linear patio pavers typ.

Entry Monument Concepts:



DRAWING LEGEND:

- TW 309.74 DP wall design grade
- fg 213.23 design grade - metric (proposed)
- P 211 top of planter grade - metric (proposed)
- AD area drain
- mse retaining wall
- cip concrete board form retaining wall
- metal planter
- 840 proposed contour lines

* NOTE: ALL WALLS TO BE ENGINEERED *

Existing topography, road and boulevard design grades provided by InterCad.

Rodgers Creek - Area 6 - Lot 2 - Cluster C
 Layout and Grading Plan
 April 20, 2018 Scale: 1:100 metric
LDP 3-3

BRITISH PACIFIC PROPERTIES

CREEKSIDE ARCHITECTS

FORMA DESIGN INC.

Existing trees typ.

Paving & Lawn/Planting Interface Concept:



boulevard planting plan to be adjusted as shown typ.
 -see PWL DP planting plan for quantity, size, etc.
 -see InterCad for details

DP mse vegetated wall typ.
 -see PWL DP planting plan for quantity, size, etc.
 -see InterCad for wall details

Covenant Planting area typ.
 -see PWL DP planting plan for quantity, size, spacing etc.
 -see InterCad for wall details

Rodgers Creek - Area 6 - Lot 2 - Cluster A
 Planting Plan
 July 6, 2018 Scale 1:100 metric
LDP 4-1

BRITISH PACIFIC PROPERTIES
 CREEKSIDE ARCHITECTS
 FORMA DESIGN INC.

Roof Treatment:

typical plan



Balast

Varied Faux Turf Application

Balast Bands (Contour Lines)

typical section



boulevard planting plan to be adjusted as shown typ.
-see PWL DP planting plan for quantity, size, etc.
-see InterCad for details



Covenant Planting area typ.
-see PWL DP planting plan for quantity, size, spacing etc.
-see InterCad for wall details

DP mse vegetated wall typ.
-see PWL DP planting plan for quantity, size, etc.
-see InterCad for wall details

Rodgers Creek - Area 6 - Lot 2 - Cluster B
 Planting Plan
 July 6, 2018 Scale 1:100 metric
LDP 4-2

BRITISH PACIFIC PROPERTIES

CREEKSIDE ARCHITECTS

FORMA DESIGN INC.

ID	Latin Name	Common Name	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)				
AC	Acer circinatum	Vine Maple	2.5m ht.	
AG	Acer griseum	Paperbark Maple	5cm cal.	Specimen
ARS	Acer rubrum 'Sunset'	Sunset Red Maple	6cm cal.	Match Street Tree
CKS	Cornus kousa 'Satomi'	Pink Japanese Dogwood	2.5m	Pink Flowering Dogwood
MGO	Magnolia Galaxy	Galaxy Magnolia	2.5m	Pink Flowering Magnolia
MLM	Magnolia x loebneri 'Leonard Messel'	Leonard Messel Magnolia	2.5m	Pink Flowering Magnolia
PAR	Parrotia persica 'Vanessa'	Vanessa Persian Ironwood	6cm cal.	Narrow Form
POM	Picea omorika	Serbian Spruce	3.0m	
PIF	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pin	3.0m	
SJ	Styrax japonicus	Japanese Snowbell Tree	5cm cal.	Specimen
SHRUBS				
Arb	Arbutus unedo 'Compacta'	Compact Strawberry Bush	#5 pot	Well established, nursery grown
Bx	Buxus microphylla	Littleleaf Boxwood	#5 pot	
Cht	Choisya ternata	Mexican Orange Blossom	#5 pot	
Ckd	Cornus 'Kelsyii'	Dwarf Red Twig Dogwood	#1 pot	
Cos	Cornus alba 'Sibirica'	Red Twig Dogwood	#1 pot	
cc	Cornus canadensis	Bunchberry	#1 pot	
ec	Erica carnea 'Springwood Pink'	Spring Heath	#1 pot	
Euc	Euonymus alata 'Compacta'	Dwarf Winged Burning Bush	#5 pot	
gs	Gaultheria shallon	Salal	#1 pot	
Had	Hamamelis x intermedia 'Diane'	Diane Witch Hazel	#10 pot	Specimen
hyL	Hydrangea paniculata 'Limelight'	Limelight Hardy Hydrangea	#10 pot	Specimen
Isp	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	#5 pot	Well established, nursery grown
Lpa	Lonicera pileata	Privet honeysuckle	#3 pot	
Ma	Mahonia aquifolium	Oregon Grape Holly	#3 pot	
Mn	Mahonia nervosa	Dwarf Oregon Grape	#5 pot	
Pos	Potentilla fruticosa 'Snowflake'	Snowflake Shrubby Cinquefoil	#3 pot	
Rh4	Rhododendron 'PJM'	PJM Rhododendron	#5 pot	
Rh1	Rhododendron catawbiense	Catawba Rhododendron	#5 pot	
Ris	Ribes sanguineum	Red Flowering Currant	#3 pot	
Rb	Rosa MEldomonac Bonica	Bonica Rose	#3 pot	
Ro5	Rosa x 'Scarlet Meidiland'	Scarlet Meidiland Rose	#3 pot	
slx	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#3 pot	
sbT	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	#1 pot	
Spa	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	#3 pot	
Sym	Symphoricarpos alba	Snowberry	#1 pot	
Vid	Viburnum davidii	David Viburnum	#3 pot	
VM	Viburnum mariesii	Doublefile Viburnum	#10 pot	Specimen
PERENNIALS & GROUNDCOVERS				
alc	Alchemilla mollis	Lady's Mantle	#1 pot	
ar	Arctostaphylos uva-ursi 'Vancouver Jade'	Bearberry, Kinnikinnick	#1 pot	
ber	Bergenia cordifolia 'Purpurea'	Heartleaf Bergenia	#1 pot	
em	Euphorbia x martinii	Martin's Spurge	#1 pot	
fc	Fragaria chiolensis	Beach Strawberry	#1 pot	
hc	Hemoerocallis spp.	Daylily	#1 pot	
lsa	Lavandula angustifolia	English Spike Lavender	#1 pot	
lp	Leptinella gruveri	Miniature Brass Buttons	4" pot	---
lim	Liriope muscari	Big Blue Lily Turf	#1 pot	
pol	Polystichum munitum	Western sword fern	#1 pot	
ORNAMENTAL GRASSES & BAMBOOS				
cmi	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	#1 pot	
des	Deschampsia caespitosa	Tufted Hair Grass	#1 pot	
helo	Helictotrichon sempervirens	Blue Oat Grass	#1 pot	
VINES				
ak	Akebia quinata	Fiveleaf Akebia	#5 pot	

Planting Notes

- All materials and execution of landscape works shall conform to the B.C.S.L.A./B.C.N.T.A. Landscape standard. Refer to written specifications for complete landscape documentation.
- All landscape works (including boulevard) to be automatically irrigated.
- The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- Minimum planting medium depths:

lawn - 6"/150mm.
groundcover - 12"/300 mm.
shrubs - 18"/450 mm.
trees - 24"/600 mm (around & beneath rootball)

- All plant material shall meet minimum size requirements as indicated in plant list. Quality of plant material and grading of site to conform to the B.C.N.T.A. standard for container grown stock.
- All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program. Plant material provided by the contractor found to be carrying Pr will be removed, disposed of and replaced at the contractor's expense.
- Tree Protection Measures
Where construction, demolition, or excavation is to take place within 4m of the drip line of a tree to be retained, a protection barrier at least 4'0" (1.2m) in height must be installed around the tree or group of trees to be retained. The diameter of the barrier shall be no smaller than the drip line of the tree(s). The barrier must be constructed of snow fencing staked every 3' (1m), plywood sheets fastened to wooden stakes or of another form approved by the municipality. The barrier shall be constructed prior to any site work and remain intact until all construction is complete. The barrier shall clearly display all-weather signage indicating that the area is a protected zone. Any work which must be done within the protection zone is to be done by hand. No burning is to take place close enough for the flames or heat to damage any tree to be retained.
- Contractor to ensure that any damage / disturbance of adjoining park area / vegetation is to be repaired and restored prior to completion of job.

Note: Refer to Landscape Plans by PWL Partnership Inc for offsite plant numbers, species, spacing, etc. Final layout to be adjusted as per driveway & service locations.

PLANT IMAGES:

Tree Sample Palette:



Cornus kousa 'Satomi'
(Pink Dogwood)



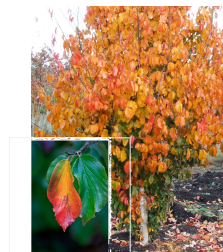
Acer circinatum
(vine maple)



Magnolia Galaxy'
(Pink Flowering Magnolia)



Acer griseum
(Paperbark Maple)



Parrotia persicaria 'Vanessa'
(Vanessa Ironwood)



Styrax japonicus
(Snowbell)

Groundcover Sample Palette:



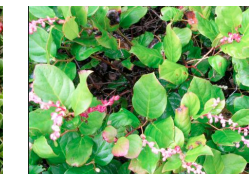
Gaultheria procumbens
(Creeping Wintergreen)



Polystichum munitum
(Western sword fern)



Arctostaphylos uva-ursi
(Kinnikinnick)



Gaultheria shallon
(Salal)



Bergenia cordifolia
(Elephant Ears)

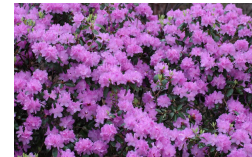


Deschampsia caespitosa
(Tufted Hair Grass)

Shrub Sample Palette:



Euonymus alatus 'Compactus'
(Burning Bush)



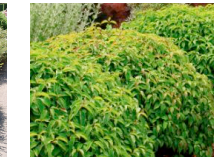
Rhododendron 'PJM'
(PJM Rhododendron)



Mahonia aquifolium
(Oregon Grape Holly)



Lonicera pileata
(Box-Leaf Honeysuckle)



Cornus 'Kelsyi'
(Compact Dogwood)



Potentilla fruticosa 'Abbotswood'
(White potentilla)

Rodgers Creek - Area 6 - Lot 2

Master Planting List & Notes

July 6, 2018

LDP 5



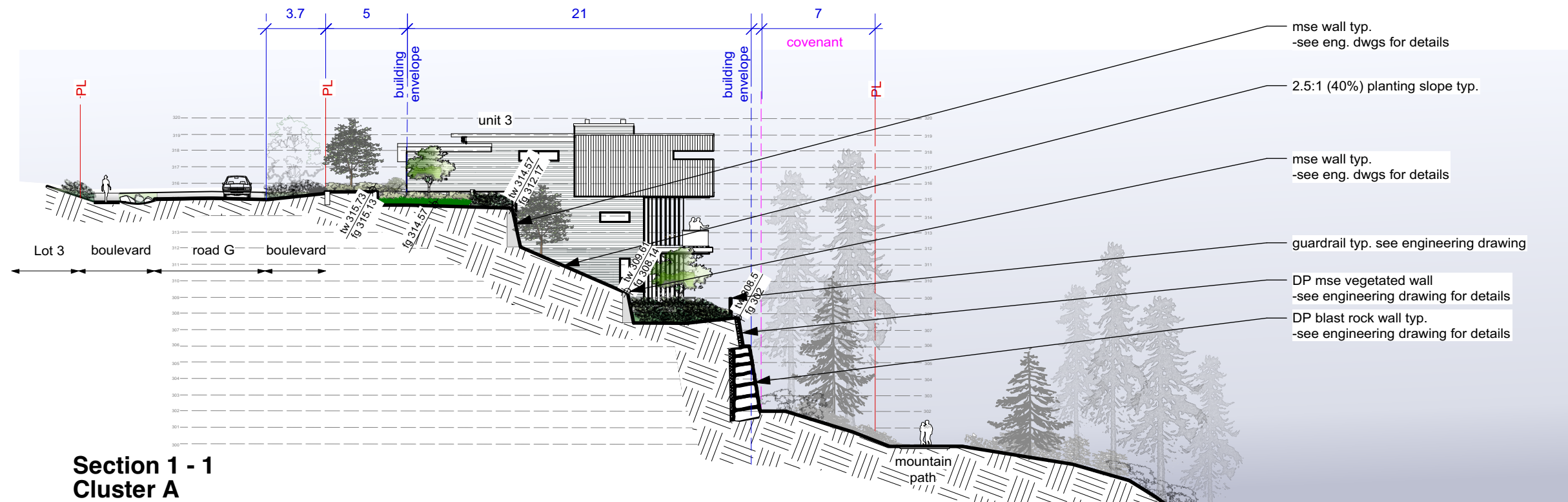
BRITISH PACIFIC
PROPERTIES



CREEKSIDE ARCHITECTS



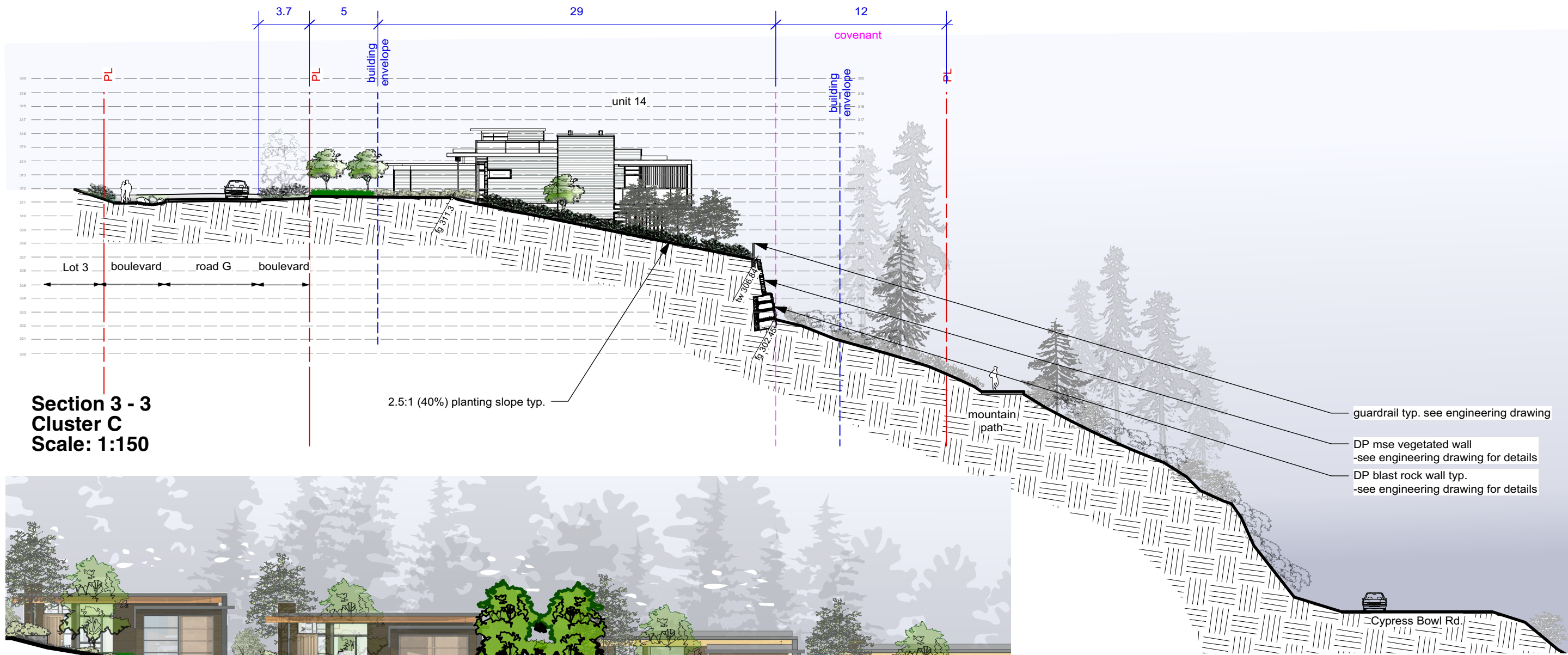
FORMA DESIGN INC.



Rodgers Creek - Area 6 - Lot 2 Cluster A&B

Sections Plan
July 6, 2018 Scale: 1:150 metric
LDP 6-1





Section 3 - 3
Cluster C
Scale: 1:150



Street Elevation 4 - 4
Scale: 1:100



Street Elevation 5 - 5
Scale: 1:100

Guardrail at top of South DP Wall Concept:



Rodgers Creek - Area 6 - Lot 2 - Cluster C

Sections & Elevation Plan
 July 6, 2018 Scale as shown metric
LDP 6-2

